



**TECHNO-GRAM  
008-2018  
REVISED**



**SUBJECT:** Streamlined Processing for Residential and Commercial Infill Lots

**PURPOSE:** The purpose of this Techno-gram is to establish a streamlined process for residential and commercial infill projects (one to six residential lots OR one commercial lot with minor disturbance).

**SCOPE:** The scope of this Techno-gram is to establish new procedures and checklists to expedite and streamline the processing of residential and commercial infill lot projects.

Effective immediately, this Techno-gram sets forth streamlined and expedited procedures for the Prince George's County Department of Permitting, Inspections and Enforcement (DPIE) site/road processing of residential and commercial infill lot projects. This revision dated **May 1, 2026** supersedes the previously issued version dated October 9, 2018. This initiative is being implemented to simplify the permit process for citizens, engineers, developers, and builders who are endeavoring to build one to six residential houses or one **minor commercial improvement with 20,000 square feet or less disturbed area** in an infill location. DPIE defines "INFILL LOTS" as those locations where roads and utility infrastructure already exist, and the requisite land development is limited.

These projects are eligible for expedited processing. For residential projects, file a residential infill case type (INR). For commercial projects, file a commercial infill case type (INC). In some cases, these require only site development concept review/approval. In other cases, these will require a combined site development concept/site development fine grading permit review/approval. The following criteria shall be followed to determine if a single lot is eligible for concept approval only. In some cases, single lots are exempt from providing Stormwater Management.

<b>Site Development Concept ONLY if YES to all</b>
a) Less than 5,000 square feet of disturbance and less than 100 cubic yards of cut/fill
b) Fronts on municipal or state roads — no road improvement
c) Not in the Chesapeake Bay Critical Area (CBCA)
d) No floodplain present on the lot
e) No storm drainpipe is required



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f) No stormwater management required — not required if yes to a) and c). <b>If the builder/developer has multiple lots in the same block or area, the cumulative LOD of all lots must be considered.</b>
g) No wetlands or streams
h) Tree conservation plan not required; tree conservation exemption issued
i) No Marlboro clay or high-shrink swell clay on or near the lot

**Up to Six Lots Residential Infill:** Residential infill projects up to six lots are eligible for expedited processing. Applicants are required to submit all proposed lots in one Infill Residential Grading Permit case. A developer or builder proposing to construct multiple houses in the same block or vicinity shall combine the lots into a single grading permit. The cumulative limit of disturbance for all proposed lots shall be used to determine if the project is required to provide stormwater management. Applicants will not be allowed to submit each lot individually, to avoid providing adequate stormwater management, storm drain, or other such requirements. One or more lots that exceed the criteria listed on the table of page 1 will require a combined site development concept/fine grading permit. The case type is Infill Residential (INR).

**Infill Commercial:** Small commercial projects with a limit of disturbance of 20,000 square feet or less are eligible for expedited processing. The commercial infill case combines concept and grading permit review into one combined case. Commercial infill projects with a limit of disturbance up to 5,000 square feet typically require site development concept review/approval only. Commercial projects with a 5,000 to 20,000 square feet limit of disturbance require a combined site development concept/site development fine-grading permit. The case type is Infill Commercial (INC).

**Streamlining:** For infill cases, DPIE is combining the site/road concept, grading permit, driveway permit, and floodplain delineation steps into one permit, to streamline and expedite the site road process. Therefore, the engineer only needs to submit for an INR or INC case type, and all Site/Road Permit review(s) will be completed under the same case number. A Building Permit is required for each structure. For infill lots, the Building Permit can be processed concurrently with the concept to expedite infill cases. The following outlines the steps involved, key staff assigned, and submittal requirements:



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**Step 1a: Natural Resource Inventory (NRI) or NRI Equivalency**

**Submittal:** Applicant to submit NRI or NRI Equivalency to Maryland–National Capital Park and Planning Commission (M-NCPPC) Environmental Planning section. This is required before the Infill Concept can be approved. See attached forms.

**Step 1b: Combined Concept/Fine Grading Permit (INR or INC)**

**Submittal** *Required Processing Method — ONLINE/ePLAN — go to <http://dpiepermits.princegeorgescountymd.gov>*

The applicant needs to submit an INR or INC case type. The applicant is to include all the technical information required for the INFILL concept, grading, driveway, and roadway permit. Submit the attached checklist to DPIE along with all appropriate engineering plans, calculations, and filing fees.

**Floodplain Information Request:** Applicant needs to submit a floodplain information request with this permit submittal and include the floodplain information request form, drainage area map, and the required fee. See the attached forms.

The DPIE permit processor is to ensure the case is eligible for the Infill process. During the planned screening, the DPIE Floodplain Engineer will research to determine if the lot(s) are in the 100-year floodplain and provide a written response.

**Step 1c: Building Permit Submittal**

*Required Method of Processing — ONLINE/ePLAN*

If the DPIE permit processor/INFILL team concurs that the project is eligible for INFILL processing, the applicant may then submit a Building Permit prior to the INFILL case issuance, to allow for expedited concurrent processing. The attached Building Permit checklist must be submitted to DPIE along with all appropriate engineering plans, calculations, and filing fees.

**Step 1d: Tree Conservation Plan Exemption or TCP Plan Submittal:**

Projects with less than 5,000 square feet of disturbance are generally eligible for a tree conservation plan exemption. The applicant is to submit a request for TCP exemption to the M-NCPPC Environmental Planning Section. If the project is not eligible for exemption, the applicant is to submit a Tree Conservation Plan for review/approval.

**NOTE:** This approval is required before INFILL Permit and Building Permits can be issued. See the attached forms.



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**Step 1e: Sediment Control Exemption Submittal:** Projects with less than 5,000 square feet of disturbance and less than 100 cubic yards of cut/fill are often eligible for a sediment control exemption. These projects are still required to practice good environmental stewardship. The applicant shall submit an exemption request to the Prince George's Soil Conservation District (PGSCD). See attached forms

OR

**PGSCD Erosion/Sediment Control Standard Plan Submittal:** If the project is not eligible for an exemption, such as cases that exceed 5,000 square feet of disturbance, or more than 100 cy of earth moving, the applicant must submit for an Erosion/Sediment Control Standard Plan. This must be submitted to PGSCD. In less common situations, a more complex PGSCD approval process may be required. Consult with PGSCD.

**Step 1f: M-NCPPC Site Plan and/or Subdivision Submittal:** Applicant shall consult with M-NCPPC to determine if the proposed use or site requires a Detailed Site Plan, Subdivision or other entitlement approvals. If this is required, consult with M-NCPPC on steps and timing. Issuance of Infill Permit and Building Permit will require approved plans from M-NCPPC.

**Step 2a: M-NCPPC Review/Approval of NRI:** M-NCPPC will review and approve the NRI or the NRI Equivalency letter. This is required before DPIE can approve the Concept review of the INFILL case.

**Step 2b: DPIE Site/Road Review/Approval of Infill Cases (INR or INC):** DPIE will assign INFILL site/road cases to the INFILL team and expedite the review, to achieve 2 weeks per review cycle, instead of the traditional 4+ weeks review cycle. It is essential that the engineer submit all information with the first review to ensure efficient processing of the case. It is typical for these case types to experience 3 review cycles. If the applicant revises and resubmits in 1- to 2-week timeframes, the applicant should expect the total time from application to issuance of approximately 11 to 13 weeks. However, other agency approvals (PGSCD, M-NCPPC, etc.) are also necessary for issuance, and the applicant must also make similar progress in processing the necessary approvals with other agencies.

**Floodplain Delineation:** If the floodplain information request indicates that floodplain is present onsite, the applicant is to acquire the floodplain study and delineate 100-year floodplain elevations onto the project-specific topography. The applicant is to submit a floodplain delineation with the INFILL case, and DPIE will process the floodplain delineation for review and approval. The applicant must



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also submit a floodplain easement for review and recordation. This is required before building and grading permit issuance.

**Step 2c: DPIE Review/Approval of Building Permit:** DPIE will complete each plan review cycle in 3 to 5 weeks. It is typical for these case types to experience 2 review cycles.

**Note:** The applicant needs to separately process for water and sewer service (well/septic through DPIE — OR — public water/sewer through the Washington Suburban Sanitary Commission (WSSC)) before Building Permit issuance.

**Note:** DPIE INFILL (INR or INC) case must be approved before Building Permit issuance.

**Note:** M-NCPPC approvals and PGSCD approvals must be issued before Building Permit Issuance.

**Step 2d: M-NCPPC Review/Approval of TCP Exemption or TCP Plan:** This approval is required before the issuance of the Building Permit and Infill Grading Permit.

**Step 2e: M-NCPPC Approval of Entitlement Approvals:** If M-NCPPC requires approval of a Detailed site Plan, Subdivision or other entitlement process, these approvals must be issued prior to DPIE issuance of Infill Permit and Building Permit.

**Step 2f: PGSCD Review/Approval of Sediment Control Exemption:** If the project is eligible for an exemption, this exemption will be issued by PGSCD. The approved exemption should be submitted to DPIE prior to issuance of the INFILL case (INR or INC) –

OR

**PGSCD Review/Approval of a Standard Plan:** If the project is not eligible for an exemption, the applicant must submit the PGSCD approved Standard Plan to DPIE prior to issuance of the INFILL case (INR or INC). In less common situations, a more complex PGSCD approval process may be required. Consult with PGSCD.

APPROVED BY:

  
Dawit Abraham (May 26, 2026 11:31:08 EDT)

**Dawit Abraham, P.E., Director  
May 1, 2026**



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**ATTACHMENTS**

- A. Key Contacts
- B. Infill Lot Concept, Grading, Driveway, Roadway Permit Checklist
- C. Floodplain Information Request Form – DPIE
- D. NRI Equivalency Letter Application Form – M-NCPPC
- E. NRI Plan Application Form – M-NCPPC
- F. Sediment Control Exemption Form – PGSCD
- G. Exemption Waiver From Grading, Erosion & Sediment Control & Standard Plan Application Processes Flow Chart - PGSCD
- H. Minimum Plan Submission Requirements for Residential Additions, Renovations, and New Single-Family Home Projects – DPIE
- I. Minimum Scope of Architectural and Structural Plan Review for Single Family Dwelling and Townhouse – DPIE
- J. Woodland Conservation Letter of Exemption Application Form – M-NCPPC
- K. Type 2 Tree Conservation Application Form – M-NCPPC
- L. Right-of-Way Survey Transmittal – DPIE
- M. Declaration of Covenant – DPIE
- N. Affidavit of Public Notification and Sample Public Notification Letter (for Projects with SWM Requirement) - DPIE



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**ATTACHMENT A**

**KEY CONTACTS:**

DPIE Floodplain Engineer:

Salman Babar 301-636-2063; [SUBabar@co.pg.md.us](mailto:SUBabar@co.pg.md.us)  
Address: 9400 Peppercorn Place, Suite 230, Largo, MD

DPIE Site/Road Residential Infill Team:

Yonas Tesfai 301-883-5725; [YSTefai@co.pg.md.us](mailto:YSTefai@co.pg.md.us)  
Mohammed Alqaraghuli 301-883-5743; [MAAlqaraghuli@co.pg.md.us](mailto:MAAlqaraghuli@co.pg.md.us)  
Claudel Passo 301-636-2082; [CPNguefack@co.pg.md.us](mailto:CPNguefack@co.pg.md.us)  
Mengis Tesfatsion 301-883-3733; [MTesfatsion@co.pg.md.us](mailto:MTesfatsion@co.pg.md.us)  
Address: 9400 Peppercorn Place, Suite 230, Largo, MD

DPIE Residential Building Permit Team:

Tezera Lemma 301-883-5918; [TLemma@co.pg.md.us](mailto:TLemma@co.pg.md.us)

DPIE Right-of-way/Easement Processing:

Asha Royal 301-883-3239; [ATRoyal@co.pg.md.us](mailto:ATRoyal@co.pg.md.us)

M-NCPPC Tree Conservation:

Tom Burke [Thomas.burke@ppd.mncppc.org](mailto:Thomas.burke@ppd.mncppc.org)  
Suzanne Nickle [Suzanne.Nickle@ppd.mncppc.org](mailto:Suzanne.Nickle@ppd.mncppc.org)  
Megan Reiser [Megan.Reiser@ppd.mncppc.org](mailto:Megan.Reiser@ppd.mncppc.org)  
Chuck Schneider 301-883-3240; [Alwin.Schneider@ppd.mncppc.org](mailto:Alwin.Schneider@ppd.mncppc.org)  
Address: 9400 Peppercorn Place, Suite 230, Laro, MD

M-NCPPC Permit Processing:

Brooke Larman 301-952-3216 or 301-883-5889  
[Brooke.Larman@ppd.mncppc.org](mailto:Brooke.Larman@ppd.mncppc.org)  
Address: 9400 Peppercorn Place, Suite 100, Largo, MD

PGSCD Sediment Control:

Julie Miller 301-574-5162 x3; [JOMiller@co.pg.md.us](mailto:JOMiller@co.pg.md.us)  
Eugene Whitehead 301-883-3265; [EKWhitehead@co.pg.md.us](mailto:EKWhitehead@co.pg.md.us)  
Address: 9400 Peppercorn Place, Suite 219, Largo, MD

## ATTACHMENT B

**Prince George's County  
Department of Permitting, Inspection and Enforcement  
Site Road Plan Review Division**

### INFILL LOT CONCEPT, GRADING, DRIVEWAY PERMIT CHECKLIST

<b>Site Development Concept Review ONLY if YES to all</b>	<b>yes</b>	<b>no</b>	<b>N/A</b>	<b>comments</b>
a) Less than 5,000 SF of disturbance and less than 100 cy of cut/fill				
b) Fronts on municipal or state road so no road improvement				
c) Not in Chesapeake Bay Critical Area CBCA				
d) No floodplain present on lot				
e) No storm drain pipe required				
f) No stormwater management required – not required if yes to a) and c) – note if builder/developer has multiple residential lots in the same block or area, must consider cumulative LOD of all lots. If builder/developer has multiple separate work areas on commercial project, the cumulative LOD of all work areas must be included.				
g) No wetlands or streams				
h) Tree conservation plan not required, tree conservation exemption issued				
i) No Marlboro clay or high shrink swell clay on or near lot				
<b>Site Development Concept Review – Design Review Information required</b>	<b>yes</b>	<b>no</b>	<b>N/A</b>	<b>comments</b>
a) Concept application filled out in momentum				
b) Drainage area map with offsite area draining to lot defined				
c) NRI equivalency letter or NRI approval provided				
d) Limit of disturbance LOD are shown on plan. LOD includes all work on lot, frontage road improvements, and utility cut in street for water/sewer				
e) Stormwater management required (not required if not in CBCA and less than 5,000 LOD and less than 100 cy cut fill). <b>NOTE:</b> If SWM is required this triggers grading permit review and as built.				

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f) Stormwater management required by others (City of Bowie)				
g) Public notification completed. Affidavit provided (if SWM reqd)				
h) Stormwater management sized to meet ESD required volume				
i) Stormwater management sized to meet 10% rule if CBCA				
j) Stormwater management requirements				
o Permeable pavement A, B, C soils only				
o Dry wells if in soils recommended by geotechnical and 4' above GWT				
o Bioswale, micro-bioretenention, and rain garden with underdrain (may eliminate rain garden underdrain if no existing storm drain nearby and infiltration rates more than 0.52 inch/hour) and device 4' above GWT				
o Rainbarrels				
o Rooftop disconnect – if slope less than 5%				
o Landscape Infiltration – infiltration 0.52 inch/hour or higher and device 4' above GWT				
k) Basement at least 2.5' above groundwater table (submit soil boring at each structure)				
l) Driveway				
• Driveway slope minimum 2%, maximum 12.5%				
• Driveway width minimum 10', maximum 20' at r/w line				
• Driveway minimum 3.5' from property line				
• Driveway lines up with garage and/or not in front of house				
• Driveway for 2 and 3 car garage meets DPWT DPIE standards				
m) Frontage road improvement				

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<ul style="list-style-type: none"> <li>Required Road improvements shown on permit plan (mill/overlay, widening, sidewalk, street tree, street lights)*</li> </ul>				
<ul style="list-style-type: none"> <li>Required road dedication shown on plans and sketch/description/right of way package provided*</li> </ul>				
<ul style="list-style-type: none"> <li>Municipal or State Highway – *not applicable</li> </ul>				
<ul style="list-style-type: none"> <li><b>NOTE:</b> If frontage improvements or driveway apron are required, this triggers grading permit review</li> </ul>				
n) Grading				
<ul style="list-style-type: none"> <li>Minimum 2% swales, minimum 2.5% lawn</li> </ul>				
<ul style="list-style-type: none"> <li>Maximum 3:1 lawn</li> </ul>				
<ul style="list-style-type: none"> <li>Grades at corner of structures are shown – minimum 10" drop 10' from structure, maximum 30" drop 10' from structure</li> </ul>				
o) Storm drainage and surface drainage				
<ul style="list-style-type: none"> <li>10 year surface flow does not exceed 3 cfs. If surface flow exceeds 3 CFS, permittee added more storm drain inlets to meet this criteria.</li> </ul>				
<ul style="list-style-type: none"> <li>Surface drainage and storm drain easements submitted and recorded if required</li> </ul>				
p) Marlboro Clay or High Shrink Swell Clay on / near lot				
<ul style="list-style-type: none"> <li>Geotechnical study provided with slope stability analysis</li> </ul>				
<ul style="list-style-type: none"> <li>1.5 factor of safety line shown</li> </ul>				
<ul style="list-style-type: none"> <li>House located 25' uphill of 1.5 factor of safety line</li> </ul>				
<ul style="list-style-type: none"> <li>Storm drain extends downhill beyond clay</li> </ul>				
<ul style="list-style-type: none"> <li>Stormwater management devices designed to prevent infiltration</li> </ul>				
q) Floodplain				
<ul style="list-style-type: none"> <li>Floodplain information request submitted to DPIE floodplain engineer – DPIE response provided with INFILL submittal - confirm presence of floodplain on/adjacent to lot</li> </ul>				
<ul style="list-style-type: none"> <li>County floodplain present and shown</li> </ul>				
<ul style="list-style-type: none"> <li>FEMA floodplain present and shown</li> </ul>				
<ul style="list-style-type: none"> <li>Delineation approved by DPIE FP engineer</li> </ul>				

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• Building elevation (Lowest floor) set two feet above 100 year FP - approved by DPIE FP engineer				
• House set back 25' horizontally from 100 year FP				
• Floodplain notes added to plan – approved by DPIE FP engineer				
• Floodplain easement recorded				
• Improvement to existing flood prone structures approved by DPIE FP engineer – cost of work is below substantial improvement threshold (FEMA only)				
• No alteration of floodplain. <b>Note:</b> if alteration is proposed, development may not be feasible. Only permissible if waiver granted. Consult with DPIE for further guidance. Alteration of floodplain requires justification, detailed floodplain modeling, compensatory storage, elevation, director level approval. Request for floodplain waiver will result in non-expedited grading permit process				
r) Erosion/Sediment Control exemption letter provided				
s) Tree conservation exemption letter provided				
t) Fees and Bonds				
• Concept Review fee paid - \$198/single family lot, \$660/two or more single family lots or commercial (plus 10% technology fee)				
• SWM fee in lieu paid – varies \$250 to \$750 per single family lot				
• Floodplain information request fee \$66 plus 10% technology fee				
• Floodplain delineation fee paid \$0.66 per stream length plus \$264 per structure plus 10%				
• Restoration Bond paid – minimum \$1500				
<b>Grading Permit Review Required IF yes to any of the below</b>	<b>yes</b>	<b>no</b>	<b>N/A</b>	<b>comments</b>
a) More than 5,000 SF of disturbance or more than 100 cy of cut/fill				

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b) Fronts on county road and road improvement required				
c) In Chesapeake Bay Critical Area CBCA				
d) Floodplain present on lot				
e) Storm drain pipe or improvements required				
f) Stormwater management required – required if yes to a) or c). <b>Note:</b> if builder/developer has multiple residential lots in the same block or area, must consider cumulative LOD of all lots. If builder/developer has multiple separate work areas on commercial project, the cumulative LOD of all work areas must be included.				
g) Wetlands or streams present				
h) Tree conservation plan required				
i) Marlboro clay or high shrink swell clay on or near lot				
<b>Grading Permit Review – Design review information required:</b>	<b>yes</b>	<b>no</b>	<b>N/A</b>	<b>comments</b>
a) Confirm all items described in concept review section				
b) Swales, Storm drain and culverts				
• Computations provided – system sized to convey 10 year				
• Plan and Profiles provided – system sized to convey 10 year				
• Surface flows does not exceed 3 CFS. Additional storm drain added to comply with 3 CFS.				
• Storm Drain Easements recorded				
• Surface drainage easements recorded for concentrated flows across second lot line				
c) Work included in permit clearly shown on plans – include table on plans – grading, paving, driveway apron, on lot parking pad, restoration of public r/w, utility cut and pavement restoration, street trees, street lights, stormwater management, storm drain				
d) Stormwater Management				

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• Computations provided – sized to meet ESD or CBCA requirements				
• Plans, profiles, details provided				
e) Declaration of Covenant to maintain drainage systems recorded				
f) Utility certification, grading certification, as built certifications				
g) Frontage road improvements				
• Road widened to master plan standard				
• Road cross section on plans				
• Sidewalk 5' wide per standards				
• Street trees/street lights per standards				
• Right of way dedication recorded				
h) Fees				
• Cost estimate for storm drain and SWM provided and verified				
• Cost estimate for road improvements provided and verified				
• SD/SWM/Road Improvement Fees collected = 11% of storm drain, SWM and road improvements plus 5% technology				
• Grading Fees paid = minimum \$53, maximum \$0.01056/SF disturbance -- plus 10% technology				
• SWM fee in lieu paid - \$250 to \$750 per lot				
• Restoration permit fee paid – see fee schedule				
• Utility permit fee paid if water/sewer connection into street – fee = see fee schedule				
• Driveway permit fee paid – varies see fee schedule				
i) Bonds				
• Street construction bond – PB = 125% of work in public r/w and LM bond = 50% of work in public r/w				
• Restoration bond = varies				
<b>SUBMITTAL REQUIREMENTS</b>				
<i>Online/eplan submittals preferred</i>				
<b>INFILL RESIDENTIAL INR or INFILL COMMERCIAL INC</b> – submit the following information to DPIE – apply online – go to <a href="https://dpiepermits.princegeorgescountymd.gov/">https://dpiepermits.princegeorgescountymd.gov/</a>				

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### INFILL LOT CONCEPT, GRADING, DRIVEWAY PERMIT CHECKLIST

1. Online application – insert INFILL into case name				
2. Site Development Concept Application – fill out in momentum				
3. Completed checklist ( above pages)				
4. Site Development Concept Plan/Final Site Plan				
5. Drainage area map				
6. Supporting hydrologic and hydraulic calculations report with narrative and SWM/SD calculations				
7. Geotechnical report				
8. Natural Resource Inventory (NRI) or NRI equivalency letter (requires approval from MNCP&PC)				
9. Floodplain Information Request Form completed by DPIE (see attached)				
10. Concept review fee - \$198 (one residential lot) or \$660 (two or more residential lots or commercial) – plus 10% technology fee				
11. Affidavit and copy of notification letters. <b>(Note:</b> not required if project is exempt from SWM requirements) (see attached)				
12. Erosion/sediment control exemption (requires approval from PGSCD)				
13. Other information if required				
The following information is required for cases that exceed the concept only requirements				
14. Final SD, SWM, paving plan – include all lots – include SWM and SD for all lots, include driveways and road frontage improvements as required.				
15. Final Site Grading and Landscape Plan (requires approval from MNCP&PC before permit issuance)				
16. Final Subdivision Plat				
17. Tree Conservation Plan or Woodland Conservation Exemption Letter– OR – CBCA Conservation Plan (requires approval from MNCP&PC before permit issuance)				

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**INFILL LOT CONCEPT, GRADING, DRIVEWAY PERMIT CHECKLIST**

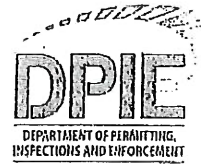
18. Final erosion and sediment control plan (requires approval from PGSCD before permit issuance)				
19. Approved 100 year floodplain delineation, if applicable				
20. Construction Cost estimates: <ul style="list-style-type: none"> <li>• Estimate for private SWM and SD</li> <li>• Estimate for public SD/SWM</li> <li>• Estimate for road improvements</li> </ul>				
21. Filing fees <ul style="list-style-type: none"> <li>• 3.33% of cost of private SWM and SD plus 10% technology fee</li> <li>• 3.33% of cost of public SD/SWM plus 10% technology fee</li> <li>• 3.33% of cost of road improvements plus 10% technology fee</li> <li>• Grading fee – 1/3 of \$0.01056 per SF of disturbed area plus 5% technology fee</li> </ul>				
22. Right of way package for proposed road dedication and easements (storm drain, SWM, floodplain, surface drainage)				
23. Declaration of Covenant to maintain drainage systems (see attached)				
24. Bonds and Remaining Permit Fees (not required with initial permit submittal – required before permit issuance)				
25. Other information if required				

# ATTACHMENT C



Rushern L. Baker, III  
County Executive

## THE PRINCE GEORGE'S COUNTY GOVERNMENT Department of Permitting, Inspections and Enforcement Site/Road Plan Review Division



Floodplain Information Request Form			
<b>INSTRUCTIONS:</b>			
<ul style="list-style-type: none"> <li>- Complete enclosed form</li> <li>- Submit topography and boundary with drainage area map that defines the total drainage area to streams and culverts.</li> <li>- Email form (In the original MS Word format) and exhibits (in a pdf format) to the below contacts</li> <li>- Mail \$52.5 (\$50 + 5% technology fee) check payable to "Prince George's County Government" and mail to the attention of both of the below contacts (public governmental entities are exempt from fee). Submit fees online for online cases.</li> </ul>			
<b>CONTACTS:</b>			
Reynaldo De Guzman, P.E., Chief Engineer Site/Road Plan Review Division (SRPRD) Prince George's County DPIE 9400 Peppercorn Place, suite 230 Largo, MD 20774 Tel: 301-636-2060		Salman Babar, MSc, CFM, Engineer Utilities/SRPRD Prince George's County DPIE 9400 Peppercorn Place, Suite 230 Largo, MD 20774 Direct: 301- 636-2063 e-mail: <a href="mailto:subabar@co.pg.md.us">subabar@co.pg.md.us</a>	
<b>INFORMATION ON PROPERTY (TO BE COMPLETED BY REQUESTOR)</b>			
Subdivision:	-----		
Lot:	-----	Block:	-----
Street Address:			
Tax Account ID(s):			
Stream:			
Owner:			
<b>REQUESTOR'S INFORMATION (TO BE COMPLETED BY REQUESTOR)</b>			
Name:			
Company:			
Address:			
Telephone Number:			
Email:			
<b>RESPONSE (TO BE COMPLETED BY DPIE STAFF)</b>			
Date In:		DPIE Processor:	
Inquiry ?:		Research ?:	
Zone:		Community Panel:	
Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Information			
Map Revised:			
Road Atlas Page:		Grid:	
Approximate Elevation:		Stream:	
Comments:			
PLEASE NOTE THAT, REGARDLESS OF WHETHER A FLOODPLAIN STUDY WAS FOUND FOR THE REFERENCED PROPERTY OR NOT A 100-YEAR FLOODPLAIN DELINEATION APPROVAL IS REQUIRED FOR PROJECTS WHERE THE STREAM(S) OR CHANNEL(S) HAVE A DRAINAGE AREA OF 50 ACRES OR GREATER.			
Date Out:		Total:	

# ATTACHMENT D



The Maryland-National Capital Park and Planning Commission Prince George's County Planning Department  
 Environmental Planning, Countywide Planning Division, 1616 McCormick Drive, Largo, MD 20774

## Application for Natural Resource Inventory Equivalency Letter (NRI-EL)

Email to [PPD-EnvPlanning@ppd.mnccppc.org](mailto:PPD-EnvPlanning@ppd.mnccppc.org)

Helpful Online Resources: [www.PGAtlas.com](http://www.PGAtlas.com), [Environmental Technical Manual](#), [Procedural Guidelines for NRI-EL Application Submission](#)

Property Owner Name(s), Address, Phone Number, & E-mail:  Applicant Name(s), Address, Phone, & E-mail:		Agent/Contact Person, Address, Phone, and E-mail:	
<b>PROJECT NAME:</b>			
Geographic Location (related to or near major intersection):			
Street Address (if available):			
Companion Case(s): (TCP1, TCP2, Preliminary Plan, Site Plan, or Special Exception)			
Will the proposed project require a subdivision or other entitlement application? If yes, please list:			
Total Area (acres): Area of Revision:	Proposed Limits of Disturbance (LOD):	Will the development disturb less than 100 cubic yards of earth? Yes No	General Plan Tier (2002, Archived):
Total Number of Lots and/or Parcels	Lot/Block/Parcel(s):	Tax Account #:	
Council District:	Election District:	Police Division#:	
General Plan Growth Policy (2035):	WSSC Grid:	Tax Map/Grid:	
Planning Area #:	Municipality(ies):	Is this site in a Priority Funding Area (PFA)? Yes No	
Zone(s):	Overlay Zone(s):	Aviation Policy Area:	
Environmental Strategy Area (ESA) (Plan 2035): 1 2 3 4	Watershed Name: Watershed 8 Digit Code #:	Basin: Anacostia Potomac Patuxent	
Is there a historic site or resource on the subject property? Yes No Historic Site ID:			
Has a Historic Area Work Permit (HAWP) application been filed with the Historic Preservation Commission? Yes No			
Proposed Use, Activity, Revision, and/or Request:			

### NRI-EL CHECKLIST (To be completed by the applicant)

**All applications must have:**

- Proposed Site Plan, containing:
  - Signature from a Qualified Professional as defined under COMAR 08.19.06.01
  - Legible Limits of Disturbance (LOD)

**Project Type 1:** If Exempt from Woodland Conservation, submit the following:

- Application for Letter of Exemption
- Application Fee to be submitted
- Copy of a previously issued and valid Letter of Exemption (Standard or Numbered)
- (Gov't Projects - Fee Waived)

**Project Type 2:** Select one or more previously approved *and* implemented plans for the site:

- Type 11 or Type 2 Tree Conservation Plan (TCP2)
- CBCA Conservation Plan
- Other environmental information deemed sufficient by staff - (provide explanation)

Agent/Contact Signature: \_\_\_\_\_ Date: \_\_\_\_\_

### Office Use Only

Date Received: \_\_\_\_\_ Date Accepted: \_\_\_\_\_ Reviewer: \_\_\_\_\_ NRI Number: \_\_\_\_\_

## Approval (To Be Completed by EPS Staff)

This **APPROVAL** for the above referenced project and location is based upon information using the submitted proposed site plan, current aerial imagery, PGAtlas.com GIS layers, and any additional information deemed necessary for review by operant planner(s). If the scope of the proposed activity and/or limits of disturbance change significantly, a full NRI may be required. This letter is valid for five years from the date of issuance, or until such time as a different development activity is proposed; whichever comes first.

The submitted application was found to meet the following criteria:

- The site qualifies for a Standard or Numbered Letter of Exemption \_\_\_\_\_ from the Prince George's County Woodland and Wildlife Habitat Conservation.
- The site has a previously approved and implemented Type 2 Tree Conservation Plan \_\_\_\_\_.
- The submitted proposed site plan, dated, \_\_\_\_\_ and prepared by \_\_\_\_\_ demonstrates that no regulated environmental features are located on the subject site or no on-site regulated environmental features will be impacted.
- The submitted proposed site plan, dated \_\_\_\_\_ and prepared by \_\_\_\_\_ shows that the proposed work will not result in any significant changes to the limits of disturbance of the previously approved TCP2, or create additional impacts to any regulated environmental features.
- The site is within the Chesapeake Bay Critical Area Overlay Zone and the submitted site plan demonstrates that the proposed activity will result in less than 500 square feet of disturbance, or that no variance is required.
- Other approval criteria:

**A FLOODPLAIN STUDY MAY STILL BE REQUIRED AT THE TIME OF STORMWATER CONCEPT REVIEW**

\_\_\_\_\_  
Planning Director or Designee:

\_\_\_\_\_  
Approval:

\_\_\_\_\_  
Expiration:

### Office Use Only

Date Received: \_\_\_\_\_ Date Accepted: \_\_\_\_\_ Reviewer: \_\_\_\_\_ NRI Number: \_\_\_\_\_

# ATTACHMENT E

M-NCPPC -- Countywide Planning Division, Environmental Planning Section Last Updated: July 2016  
 Prince George's County Planning Department ♦ 14741 Governor Oden Bowie Drive, Upper Marlboro, Maryland 20772 ♦ 301-952-3650

## APPLICATION FORM FOR NRI PLAN ONLY

**APPLICANTS DO NOT WRITE IN THIS SPACE**

Date Received: \_\_\_\_\_ Reviewed for Acceptance by: \_\_\_\_\_ NRI No.: \_\_\_\_\_  
 Application Package Complete:  YES  NO (incomplete applications must be returned) Date Returned: \_\_\_\_\_  
 Reason for return of the package: \_\_\_\_\_  
 Agent/Contact Notified: \_\_\_\_\_ (date) VIA \_\_\_\_\_ (method)  
 Dated Accepted: \_\_\_\_\_ Reviewer Assigned: \_\_\_\_\_ Due Date: \_\_\_\_\_ (30 days from acceptance date)

**APPLICANT TO FILL OUT ALL REMAINING SECTIONS**

APPLICATION TYPE:  Full Plan  Intermediate Plan  (Limited Government or Linear) Plan  CBCA Plan

PROPERTY OR PROJECT NAME: \_\_\_\_\_

Geographic Location (related to or near major intersection): \_\_\_\_\_

Street Address: \_\_\_\_\_

Companion Case(s) and/or Previous Approvals:  
 (TCP1, TCP2, Preliminary Plan, Site Plan, or Special Exception)

Total Area (acres):	Tax Account #:	WSSC Grid:
---------------------	----------------	------------

Lot Numbers/ Blocks/Parcels:	Current Zone:	Planning Area:
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Environmental Strategy Area (ESA) (Plan 2035): <input type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4	Watershed:	Overlay Zone:
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Proposed Use of Property and/or Future Request: \_\_\_\_\_

**NRI PACKAGE CONTENTS CHECKLIST**

The following applicable documents are required in the formats indicated below:

One paper copy of the following documents:

- Transmittal letter
- NRI Plan (signed)

One compact disc or thumb drive containing one file each of the following documents:

- NRI Preparation Checklist (signed)
- NRI Plan (signed)
- FSD Text (signed)
- Wetlands Study Text (signed)
- Approved floodplain request form (approved by DPIE)
- USDA NRCS Web Soil Survey (WSS) Custom Soil Resource Report
- RTE Letter from DNR or Letter of Request to DNR
- Other information provided by the applicant

Applicant Name and Address: \_\_\_\_\_

Agent/Contact Person, Company Name, Address, Phone Number, Fax and E-mail (all required): \_\_\_\_\_

Owner Name and Address: \_\_\_\_\_

**SIGNATURE** (Signature required is either the property owner OR the property owner's authorized representative)

Signature: \_\_\_\_\_ Date: \_\_\_\_\_ Relationship to Property Owner: \_\_\_\_\_

Printed Name: \_\_\_\_\_



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5301 Marlboro Race Track Road, Ste.100 Upper Marlboro, MD 20772  
Phone (301) 574-5162x3 ■ Fax 1-855-416-9660  
www.pgscd.org ■ pgscd@co.pg.md.us

### DEVELOPMENT BULLETIN 01-2025

**Subject:** Update to the Standard Erosion and Sediment Control Plan Application  
**Resource:** Urban Development and Conservation Program  
**Date:** November 14, 2025

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#### EFFECTIVE IMMEDIATELY

Pursuant to COMAR 26.17.01.05, any grading activity that disturbs more than 5,000 square feet of land area, and/or 100 cubic yards of earth, requires an erosion and sediment control plan.

Standard Erosion and Sediment Control Plans (Standard Plan) provide a viable and efficient approval process for projects with minor grading, earth disturbance, and construction activities. These include single-family residential construction; additions; small commercial and other similar developments; and the maintenance, operation, and installation of utilities.

A Standard Plan application may be submitted for projects meeting specific requirements as set forth in the attached application.

The following limitations are to be noted:

1. Total disturbance shall not exceed 30,000 square feet,
2. The volume of grading/earth disturbance shall not exceed 1,000 cubic yards,
3. Cuts and/or fills shall not exceed 10 feet (existing ground to final grade).

Projects that exceed the limitations of a Standard Plan must evaluate alternative application types to meet the requirements of COMAR 26.17.01.05.

Please contact the District's Urban Development and Conservation Program at [pgscd@co.pg.md.us](mailto:pgscd@co.pg.md.us) or 301-574-5162 Ext. 3 with any questions.

**PRINCE GEORGE'S SOIL CONSERVATION DISTRICT  
STANDARD EROSION AND SEDIMENT CONTROL PLAN**

(Not for use in actively developing subdivisions)

Project Name \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_

Site Address \_\_\_\_\_

Street City State Zip

Owner/Developer Name Phone

Address State Zip

Lot Area \_\_\_\_\_ square feet Area Disturbed \_\_\_\_\_ square feet

I (We) certify that the following conditions shall be met:

**A. Grading**

1. Attached signed and sealed site plan (with vicinity map) showing proposed development with grades and/or flow arrows. Include a narrative/sequence of construction. Include soils map.
2. No contiguous lots are undergoing development by the same applicant or owner.
3. Total disturbed area does not exceed 30,000 square feet
4. No cut or fill shall exceed 10 feet (existing to final grade).
5. Volume of grading or earth disturbance involved does not exceed 1,000 cubic yards.
6. No earth disturbance shall occur within the limits of the 100-year floodplain of any stream, or 100 feet of any perennial stream, water body, Mean High Water Line of any water body affected by tidal action, or tidal wetland.
7. No earth disturbance shall occur within 25 feet of any nontidal wetland or within 100 feet of any Nontidal Wetland of Special State Concern.
8. No earth disturbance shall occur on highly erodible soils and steep slopes 15% or greater.
9. Proposed grading/development activities located in High Quality (TIER II) watersheds/sub-watersheds, in Prince George's County per COMAR 26.08.02.04, shall implement redundancies in grading, erosion and sediment control practices/systems.
10. Proposed grading/development activities located in watersheds/sub-watersheds with stream segments and tributaries impaired by sediments shall implement redundancies in grading, erosion and sediment control practices/systems.
11. The proposed work does not require a State Waterway or Wetland Permit.
12. No final graded slope shall be steeper than 3:1.
13. No fill shall be placed on any existing slope steeper than 5:1.
14. Initial earth disturbance shall be limited to installing sediment controls.
15. All fills shall be free of any organic or other deleterious material and shall be compacted. All areas to receive fill shall have the ground surface prepared by removing all existing vegetation.
16. The proposed grading shall not impair existing surface drainage, constitute a potential erosion hazard, or a source of sedimentation to any adjacent property or right-of-way.

**B. Stormwater Management Coordination with Sediment Controls**

1. Provide Prince George's County approved Stormwater Management Plan showing environmental site design (ESD) practices are used to the maximum extent practicable (MEP).
1. Final grading for ESD practices should not take place until the surrounding site is stabilized. If this cannot be accomplished, runoff from disturbed areas shall be diverted around proposed ESD practices using approved water conveyance practices (i.e.: Earth Dikes or Diversion Fence) to a safe outlet.

**C. Sediment Controls**

Provide sediment controls below disturbed area to prevent sediment from being transported off-site. For details, specifications, and maintenance for sediment controls and vegetative stabilization, refer to the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control" or any subsequent revisions. Any controls that are damaged or disturbed shall be restored or repaired before the end of each day. Any pumping of water must be filtered through an approved filtering device.

Stabilized Construction Entrance \_\_\_\_\_ Super Silt Fence \_\_\_\_\_  
Stone Outlet Structure \_\_\_\_\_ Earth Dikes \_\_\_\_\_  
Diversion Fence \_\_\_\_\_ Filter Berm \_\_\_\_\_  
Filter Log \_\_\_\_\_ Storm Drain Inlet Protection \_\_\_\_\_  
Other \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**D. Stabilization**

1. Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within:
  - a. Three calendar days for surface of all perimeter controls, and all perimeter slopes.
  - b. Seven calendar days for all other disturbed or graded areas.
2. Provide topsoil uniformly 5 to 8 inches deep, lightly compacted to a minimum thickness of 4 inches prior to establishment of permanent vegetation. Topsoil stockpiled from the existing site may be used if the material meets the standards.

I certify that I have the authority to make the foregoing application; that the information above and on the attached site plan is correct; and that I have the ability to meet all the limitations and conditions set forth by this agreement.

Nothing herein relieves the applicant from complying with any and all Federal, State, and local requirements (e.g., Stormwater Management, Chesapeake Bay Critical Area, Forest Conservation, State Waterway or Wetland Permit, Grading, etc.)

Owner/Developer's  
Signature \_\_\_\_\_ Date \_\_\_\_\_

Owner/Developer's  
Name \_\_\_\_\_  
(Please Print) Email Address and/or Phone Number \_\_\_\_\_

Engineer's/Consultant's  
Name \_\_\_\_\_  
(Please Print) Email Address and/or Phone Number \_\_\_\_\_

Prince George's Soil Conservation District  
Upper Marlboro, Maryland 20772 Phone: (301)574-5162 x3

Approved by: \_\_\_\_\_ S# \_\_\_\_\_

Approval Date \_\_\_\_\_ Expiration Date \_\_\_\_\_

# ATTACHMENT G

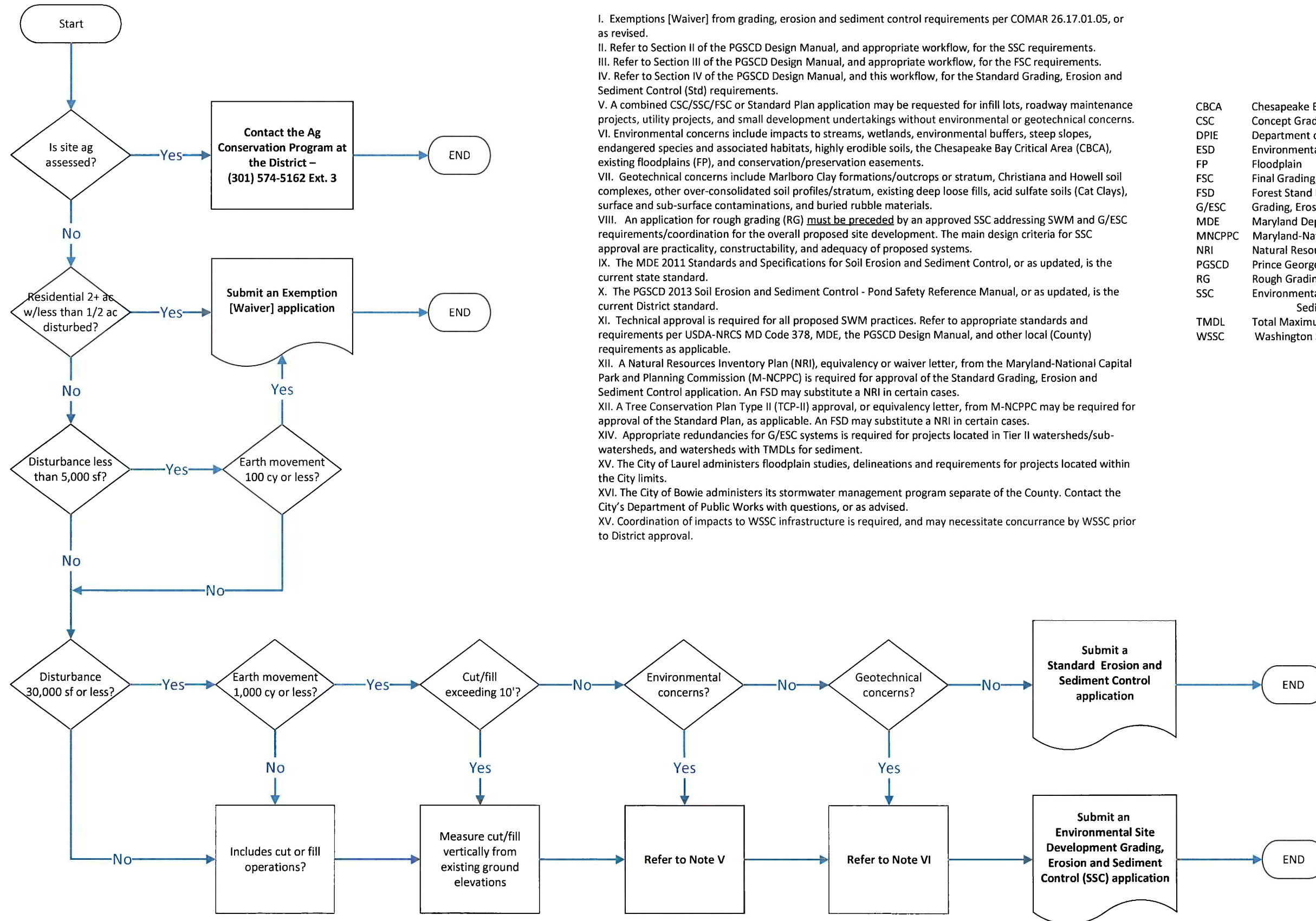
## PRINCE GEORGE'S SOIL CONSERVATION DISTRICT EXEMPTION [WAIVER] FROM GRADING, EROSION AND SEDIMENT CONTROL & STANDARD PLAN APPLICATION PROCESSES

### NOTES

- I. Exemptions [Waiver] from grading, erosion and sediment control requirements per COMAR 26.17.01.05, or as revised.
- II. Refer to Section II of the PGSCD Design Manual, and appropriate workflow, for the SSC requirements.
- III. Refer to Section III of the PGSCD Design Manual, and appropriate workflow, for the FSC requirements.
- IV. Refer to Section IV of the PGSCD Design Manual, and this workflow, for the Standard Grading, Erosion and Sediment Control (Std) requirements.
- V. A combined CSC/SSC/FSC or Standard Plan application may be requested for infill lots, roadway maintenance projects, utility projects, and small development undertakings without environmental or geotechnical concerns.
- VI. Environmental concerns include impacts to streams, wetlands, environmental buffers, steep slopes, endangered species and associated habitats, highly erodible soils, the Chesapeake Bay Critical Area (CBCA), existing floodplains (FP), and conservation/preservation easements.
- VII. Geotechnical concerns include Marlboro Clay formations/outcrops or stratum, Christiana and Howell soil complexes, other over-consolidated soil profiles/stratum, existing deep loose fills, acid sulfate soils (Cat Clays), surface and sub-surface contaminations, and buried rubble materials.
- VIII. An application for rough grading (RG) must be preceded by an approved SSC addressing SWM and G/ESC requirements/coordination for the overall proposed site development. The main design criteria for SSC approval are practicality, constructability, and adequacy of proposed systems.
- IX. The MDE 2011 Standards and Specifications for Soil Erosion and Sediment Control, or as updated, is the current state standard.
- X. The PGSCD 2013 Soil Erosion and Sediment Control - Pond Safety Reference Manual, or as updated, is the current District standard.
- XI. Technical approval is required for all proposed SWM practices. Refer to appropriate standards and requirements per USDA-NRCS MD Code 378, MDE, the PGSCD Design Manual, and other local (County) requirements as applicable.
- XII. A Natural Resources Inventory Plan (NRI), equivalency or waiver letter, from the Maryland-National Capital Park and Planning Commission (M-NCPPC) is required for approval of the Standard Grading, Erosion and Sediment Control application. An FSD may substitute a NRI in certain cases.
- XII. A Tree Conservation Plan Type II (TCP-II) approval, or equivalency letter, from M-NCPPC may be required for approval of the Standard Plan, as applicable. An FSD may substitute a NRI in certain cases.
- XIV. Appropriate redundancies for G/ESC systems is required for projects located in Tier II watersheds/sub-watersheds, and watersheds with TMDLs for sediment.
- XV. The City of Laurel administers floodplain studies, delineations and requirements for projects located within the City limits.
- XVI. The City of Bowie administers its stormwater management program separate of the County. Contact the City's Department of Public Works with questions, or as advised.
- XV. Coordination of impacts to WSSC infrastructure is required, and may necessitate concurrence by WSSC prior to District approval.

### LEGEND

CBCA	Chesapeake Bay Critical Area
CSC	Concept Grading, Erosion and Sediment Control Plan
DPIE	Department of Permitting, Inspections and Enforcement
ESD	Environmental Site Design practices
FP	Floodplain
FSC	Final Grading, Erosion and Sediment Control Plan
FSD	Forest Stand Delineation (MDE/DNR)
G/ESC	Grading, Erosion and Sediment Control
MDE	Maryland Department of the Environment
MNCPPC	Maryland-National Capital Park & Planning Commission
NRI	Natural Resources Inventory Plan
PGSCD	Prince George's Soil Conservation District (District)
RG	Rough Grading Application/Development Phase
SSC	Environmental Site Development Grading, Erosion and Sediment Control Plan
TMDL	Total Maximum Daily Load
WSSC	Washington Suburban Sanitary Commission

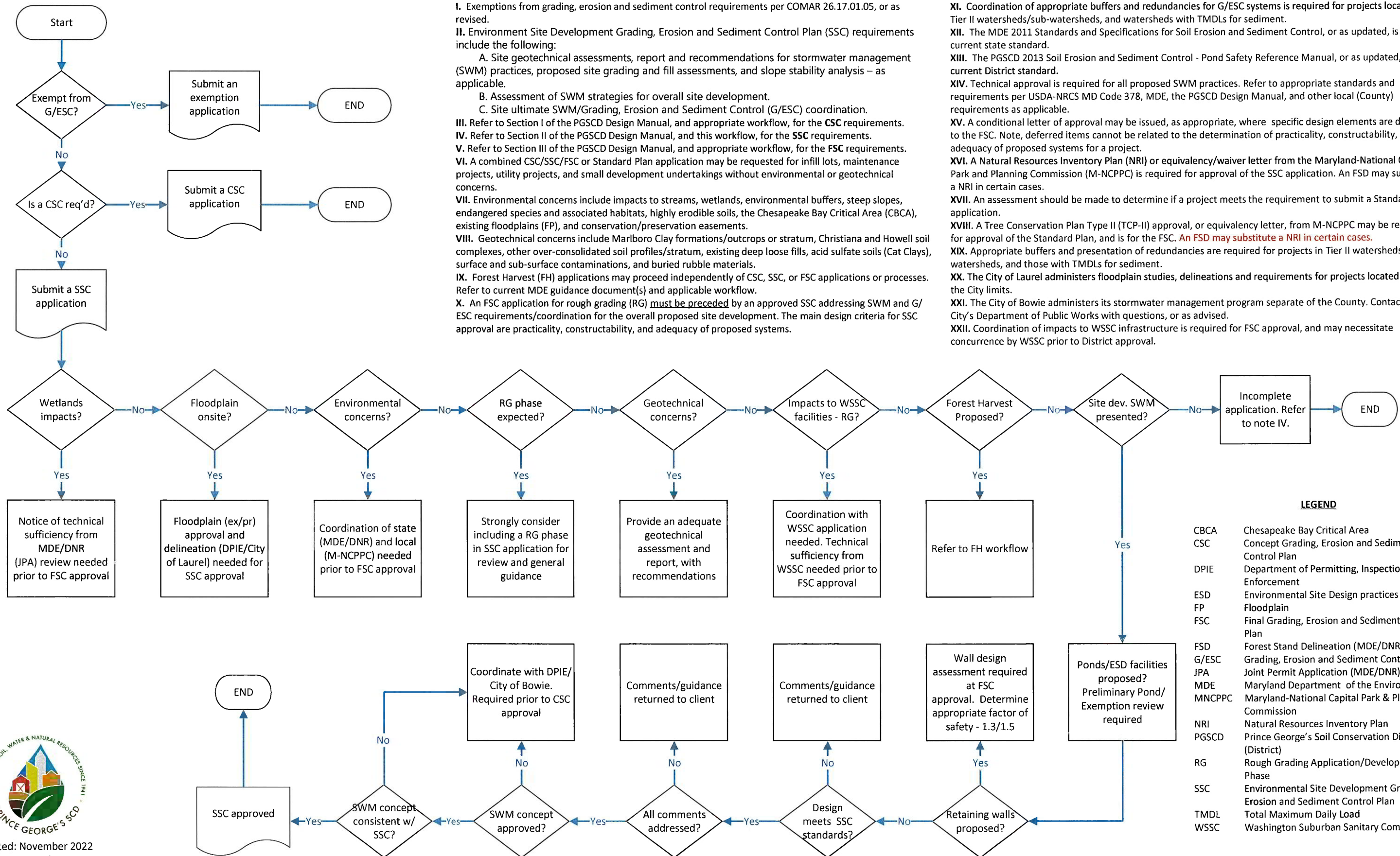


# PRINCE GEORGE'S SOIL CONSERVATION DISTRICT SITE DEVELOPMENT GRADING, EROSION AND SEDIMENT CONTROL (SSC) APPLICATION PROCESS

## NOTES

- I. Exemptions from grading, erosion and sediment control requirements per COMAR 26.17.01.05, or as revised.
- II. Environment Site Development Grading, Erosion and Sediment Control Plan (SSC) requirements include the following:
  - A. Site geotechnical assessments, report and recommendations for stormwater management (SWM) practices, proposed site grading and fill assessments, and slope stability analysis – as applicable.
  - B. Assessment of SWM strategies for overall site development.
  - C. Site ultimate SWM/Grading, Erosion and Sediment Control (G/ESC) coordination.
- III. Refer to Section I of the PGSCD Design Manual, and appropriate workflow, for the CSC requirements.
- IV. Refer to Section II of the PGSCD Design Manual, and this workflow, for the SSC requirements.
- V. Refer to Section III of the PGSCD Design Manual, and appropriate workflow, for the FSC requirements.
- VI. A combined CSC/SSC/FSC or Standard Plan application may be requested for infill lots, maintenance projects, utility projects, and small development undertakings without environmental or geotechnical concerns.
- VII. Environmental concerns include impacts to streams, wetlands, environmental buffers, steep slopes, endangered species and associated habitats, highly erodible soils, the Chesapeake Bay Critical Area (CBCA), existing floodplains (FP), and conservation/preservation easements.
- VIII. Geotechnical concerns include Marlboro Clay formations/outcrops or stratum, Christiana and Howell soil complexes, other over-consolidated soil profiles/stratum, existing deep loose fills, acid sulfate soils (Cat Clays), surface and sub-surface contaminations, and buried rubble materials.
- IX. Forest Harvest (FH) applications may proceed independently of CSC, SSC, or FSC applications or processes. Refer to current MDE guidance document(s) and applicable workflow.
- X. An FSC application for rough grading (RG) must be preceded by an approved SSC addressing SWM and G/ESC requirements/coordination for the overall proposed site development. The main design criteria for SSC approval are practicality, constructability, and adequacy of proposed systems.

- XI. Coordination of appropriate buffers and redundancies for G/ESC systems is required for projects located in Tier II watersheds/sub-watersheds, and watersheds with TMDLs for sediment.
- XII. The MDE 2011 Standards and Specifications for Soil Erosion and Sediment Control, or as updated, is the current state standard.
- XIII. The PGSCD 2013 Soil Erosion and Sediment Control - Pond Safety Reference Manual, or as updated, is the current District standard.
- XIV. Technical approval is required for all proposed SWM practices. Refer to appropriate standards and requirements per USDA-NRCS MD Code 378, MDE, the PGSCD Design Manual, and other local (County) requirements as applicable.
- XV. A conditional letter of approval may be issued, as appropriate, where specific design elements are deferred to the FSC. Note, deferred items cannot be related to the determination of practicality, constructability, and adequacy of proposed systems for a project.
- XVI. A Natural Resources Inventory Plan (NRI) or equivalency/waiver letter from the Maryland-National Capital Park and Planning Commission (M-NCPPC) is required for approval of the SSC application. An FSD may substitute a NRI in certain cases.
- XVII. An assessment should be made to determine if a project meets the requirement to submit a Standard Plan/application.
- XVIII. A Tree Conservation Plan Type II (TCP-II) approval, or equivalency letter, from M-NCPPC may be required for approval of the Standard Plan, and is for the FSC. **An FSD may substitute a NRI in certain cases.**
- XIX. Appropriate buffers and presentation of redundancies are required for projects in Tier II watersheds/sub-watersheds, and those with TMDLs for sediment.
- XX. The City of Laurel administers floodplain studies, delineations and requirements for projects located within the City limits.
- XXI. The City of Bowie administers its stormwater management program separate of the County. Contact the City's Department of Public Works with questions, or as advised.
- XXII. Coordination of impacts to WSSC infrastructure is required for FSC approval, and may necessitate concurrence by WSSC prior to District approval.



### LEGEND

CBCA	Chesapeake Bay Critical Area
CSC	Concept Grading, Erosion and Sediment Control Plan
DPIE	Department of Permitting, Inspections and Enforcement
ESD	Environmental Site Design practices
FP	Floodplain
FSC	Final Grading, Erosion and Sediment Control Plan
FSD	Forest Stand Delineation (MDE/DNR)
G/ESC	Grading, Erosion and Sediment Control
JPA	Joint Permit Application (MDE/DNR)
MDE	Maryland Department of the Environment
MNCPPC	Maryland-National Capital Park & Planning Commission
NRI	Natural Resources Inventory Plan
PGSCD	Prince George's Soil Conservation District (District)
RG	Rough Grading Application/Development Phase
SSC	Environmental Site Development Grading, Erosion and Sediment Control Plan
TMDL	Total Maximum Daily Load
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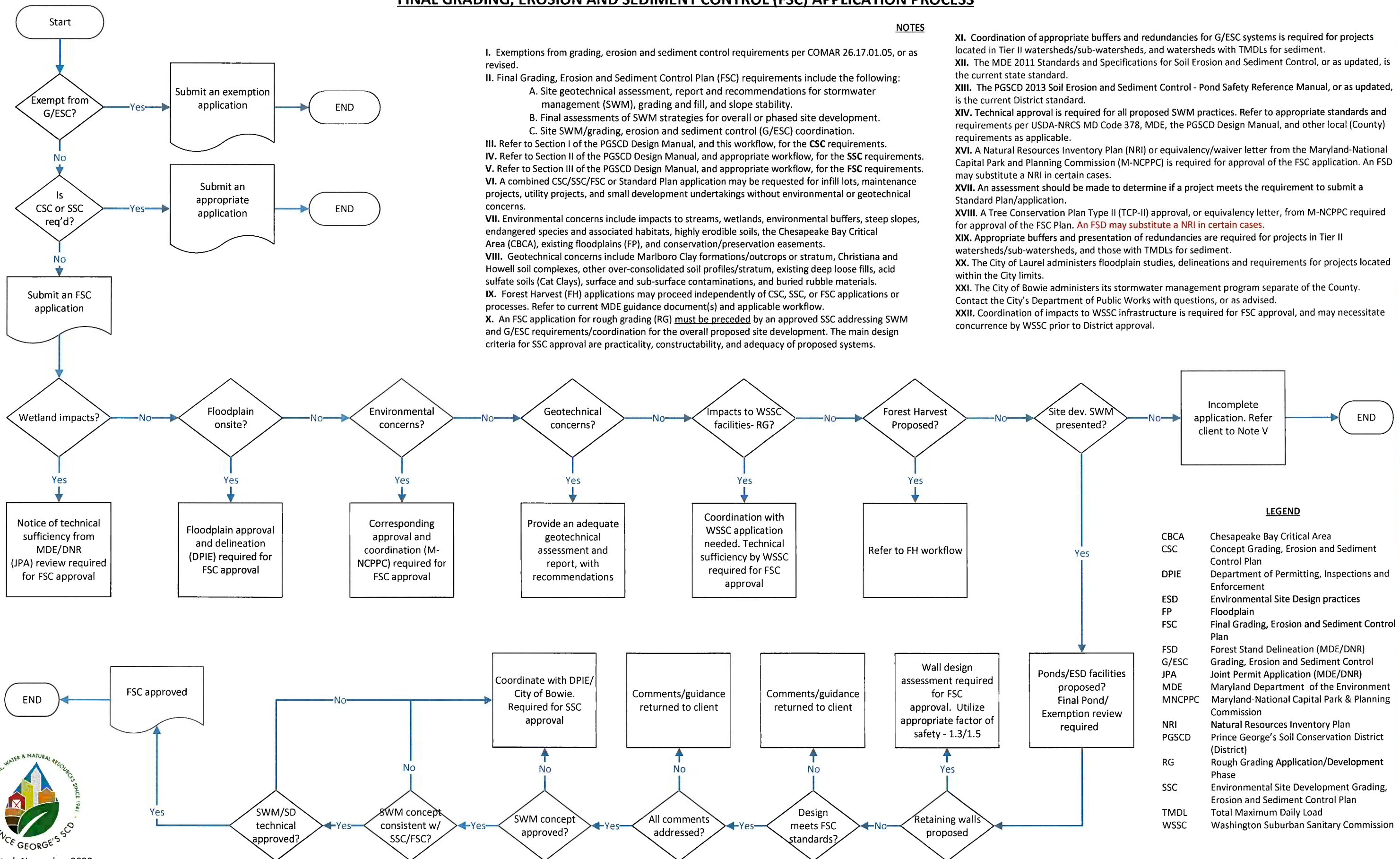
# PRINCE GEORGE'S SOIL CONSERVATION DISTRICT

## FINAL GRADING, EROSION AND SEDIMENT CONTROL (FSC) APPLICATION PROCESS

### NOTES

- I. Exemptions from grading, erosion and sediment control requirements per COMAR 26.17.01.05, or as revised.
- II. Final Grading, Erosion and Sediment Control Plan (FSC) requirements include the following:
  - A. Site geotechnical assessment, report and recommendations for stormwater management (SWM), grading and fill, and slope stability.
  - B. Final assessments of SWM strategies for overall or phased site development.
  - C. Site SWM/grading, erosion and sediment control (G/ESC) coordination.
- III. Refer to Section I of the PGSCD Design Manual, and this workflow, for the CSC requirements.
- IV. Refer to Section II of the PGSCD Design Manual, and appropriate workflow, for the SSC requirements.
- V. Refer to Section III of the PGSCD Design Manual, and appropriate workflow, for the FSC requirements.
- VI. A combined CSC/SSC/FSC or Standard Plan application may be requested for infill lots, maintenance projects, utility projects, and small development undertakings without environmental or geotechnical concerns.
- VII. Environmental concerns include impacts to streams, wetlands, environmental buffers, steep slopes, endangered species and associated habitats, highly erodible soils, the Chesapeake Bay Critical Area (CBCA), existing floodplains (FP), and conservation/preservation easements.
- VIII. Geotechnical concerns include Marlboro Clay formations/outcrops or stratum, Christiana and Howell soil complexes, other over-consolidated soil profiles/stratum, existing deep loose fills, acid sulfate soils (Cat Clays), surface and sub-surface contaminations, and buried rubble materials.
- IX. Forest Harvest (FH) applications may proceed independently of CSC, SSC, or FSC applications or processes. Refer to current MDE guidance document(s) and applicable workflow.
- X. An FSC application for rough grading (RG) must be preceded by an approved SSC addressing SWM and G/ESC requirements/coordination for the overall proposed site development. The main design criteria for SSC approval are practicality, constructability, and adequacy of proposed systems.

- XI. Coordination of appropriate buffers and redundancies for G/ESC systems is required for projects located in Tier II watersheds/sub-watersheds, and watersheds with TMDLs for sediment.
- XII. The MDE 2011 Standards and Specifications for Soil Erosion and Sediment Control, or as updated, is the current state standard.
- XIII. The PGSCD 2013 Soil Erosion and Sediment Control - Pond Safety Reference Manual, or as updated, is the current District standard.
- XIV. Technical approval is required for all proposed SWM practices. Refer to appropriate standards and requirements per USDA-NRCS MD Code 378, MDE, the PGSCD Design Manual, and other local (County) requirements as applicable.
- XV. A Natural Resources Inventory Plan (NRI) or equivalency/waiver letter from the Maryland-National Capital Park and Planning Commission (M-NCPPC) is required for approval of the FSC application. An FSD may substitute a NRI in certain cases.
- XVII. An assessment should be made to determine if a project meets the requirement to submit a Standard Plan/application.
- XVIII. A Tree Conservation Plan Type II (TCP-II) approval, or equivalency letter, from M-NCPPC required for approval of the FSC Plan. **An FSD may substitute a NRI in certain cases.**
- XIX. Appropriate buffers and presentation of redundancies are required for projects in Tier II watersheds/sub-watersheds, and those with TMDLs for sediment.
- XX. The City of Laurel administers floodplain studies, delineations and requirements for projects located within the City limits.
- XXI. The City of Bowie administers its stormwater management program separate of the County. Contact the City's Department of Public Works with questions, or as advised.
- XXII. Coordination of impacts to WSSC infrastructure is required for FSC approval, and may necessitate concurrence by WSSC prior to District approval.



### LEGEND

CBCA	Chesapeake Bay Critical Area
CSC	Concept Grading, Erosion and Sediment Control Plan
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MNCPPC	Maryland-National Capital Park & Planning Commission
NRI	Natural Resources Inventory Plan
PGSCD	Prince George's Soil Conservation District (District)
RG	Rough Grading Application/Development Phase
SSC	Environmental Site Development Grading, Erosion and Sediment Control Plan
TMDL	Total Maximum Daily Load
WSSC	Washington Suburban Sanitary Commission



# ATTACHMENT H

## Prince George's County

Department of Permitting, Inspections  
and Enforcement

### BUILDING PLAN REVIEW DIVISION

9400 Peppercorn Place, Suite 213

Largo, Maryland 20774

(301) 636-2070



## MINIMUM PLAN SUBMISSION REQUIREMENTS FOR NEW SINGLE-FAMILY HOUSE(S) AND ADDITION(S) TO EXISTING HOUSE PROJECTS

Applicants must provide complete architectural/structural plans for all residential construction projects. Plans **must be drawn to scale** and be of sufficient quality to explain the proposed construction clearly and completely.

### DESIGN CRITERIA

- Cover Page: Must include Scope of Work, Drawing Index, Code Analysis, Current IBC/IRC/IECC Codes and [Prince George's County Building Amendments, Subtitle 4](#), and Building Data (area of new house or addition).
- Floor Live Load = 40 psf, except in sleeping rooms where the Live Load = 30 psf.
- Roof Live Load = 30 psf, with additional load for roof areas subjected to drifting. Ground Snow Load = 35 psf.
- Basic Wind Speed = 115 mph, 3-second gusts; Seismic Design Category B.
- Frost/Footing Depth = 30-inches.

### REQUIRED DRAWINGS

1. **Foundation Plan** (Min. Scale  $\frac{1}{4}'' = 1'-0''$ ): Must show all elements of the foundation with solid lines and the footings with dashed lines; include complete dimensioning for the exterior walls and clearly dimension the locations and sizes of all interior bearing walls and footings.
2. **Floor Plans** (Min. Scale  $\frac{1}{4}'' = 1'-0''$ ): Include separate drawings for each floor. Show all architectural/structural elements (rooms, doors, windows, stairs, railings, fixtures, etc.) Proposed uses of spaces (room names) and dimensions locating all elements, stairway widths, and landing sizes must be included.
3. **Building Cross Section(s)** (Min. Scale  $\frac{1}{4}'' = 1'-0''$ ): The number of section drawings shall be as necessary to explain the structural system completely. Must be a comprehensive drawing showing the entire building and/or proposed construction. Vertical dimensions (floor-to-floor, construction heights) must be shown.
4. **Framing Plans** (Min. Scale  $\frac{1}{4}'' = 1'-0''$ ): Include separate drawings for each floor and roof showing all framing members and respective points of bearing. Materials, series, sizes and spacing of all structural members must be specified (floor joists, rafters, ridges, valleys, hips, ceiling joists, collar ties, bearing walls, beams, posts, headers). Accurately dimension the locations of all points of bearing.
5. **Elevations** (Min. Scale  $\frac{1}{4}'' = 1'-0''$ ): Exterior views of each facade (front, rear & sides) showing the construction in its finished condition. Indicate all door and window sizes and specify all finish building materials. For building additions, the existing and proposed elevations on all sides of the building must be part of the permit set.
6. **Typical Wall Sections** (Min. Scale  $\frac{3}{4}'' = 1'-0''$ ): Demonstrate accurate detail of the construction drawn from the footing up to and including the roof and/or top of the proposed construction, as applicable. Specify all building materials, sizes and spacing.
7. **Details** (Min. Scale  $\frac{3}{4}'' = 1'-0''$ ): As required to show special conditions.
8. **Structural Lateral Bracing Drawings**: Show method(s), size(s) of bracing on each of the floor plans. The bracing plan must be on a separate sheet.
9. **ePLAN Submittals**: Each PDF sheet must be named as "Sheet # — Sheet Title" before uploading to the system. (Example: A101 — First Floor Plan. S101 — Foundation Plan.) The permit set must be uploaded in the appropriate folders. (Example: Architectural drawings are uploaded in the "Architectural" folder; Structural drawings are uploaded in the "Structural" folder, etc.)

# ATTACHMENT I



**Prince George's County**  
Department of Permitting, Inspections  
and Enforcement  
Building Plan Review Division  
9400 Peppercorn Place, Suite 213  
Largo, Maryland 20774  
(301) 636-2070 ♦ FAX: (301) 883-7138



## MINIMUM SCOPE OF ARCHITECTURAL AND STRUCTURAL PLAN REVIEW FOR SINGLE FAMILY DWELLING AND TOWNHOUSES

Minimum requirements checked for code compliance include the following.

### General Items — Check the submitted documents for the following:

- Minimum size of plans 180 X 240
- Minimum scale of plans 1/40 = 1/8"
- Adheres to International Building Code (IBC) and International Residential Code (IRC) editions and County amendments
- Plans signed and sealed by an architect or professional engineer, licensed in the state of Maryland
- Energy Code compliance document (Res-check)
- Geo-tech report (if soil bearing capacity taken for design exceeds 2000 psf)
- Construction material and specification

### Architectural Plans — Include the following:

- Building data — Gross floor area, number of stories, height of the building, etc. must be shown on the cover sheet
- Design criteria (*i.e.*, live load, dead load, snow load (30 psf), wind speed (115 mph), soil bearing capacity (maximum 2000 psf)
- Dimensions and use of each space
- Building Elevations — all sides
- Building cross-sections — both directions
- R-values for insulation and U-factor for fenestration must be shown
- Stair details — tread and riser, hand/guard rail dimension
- Pre-fabricated fireplace technical literature with installation instructions from the manufacturer
- Crawl space ventilation and access
- Details of fire rated assemblies (floor/ceiling, party wall, etc.) — townhouses only
- Water proofing details for foundation wall
- Property and building restriction lines, setbacks, etc.

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**Structural Plans — Include the following:**

- Foundation and footing plan with details (sill plate, anchor bolt, size and spacing)
- Floor and roof framing plans
- Wall bracing plan
- Underpinning details (if applicable)
- Typical structural details (wall sections, connections, etc.)

**Additional requirements for Plans-on-File:**

- The following Prince George's County Compliance Statement must be on the cover sheet of the drawings:  
"By signing this document, I certify that I have reviewed the structural framing, roof trusses, foundation walls, footings and other structural components of the building plans and all non-structural requirements identified as Plans-on-File # \_\_\_\_\_ and House Type \_\_\_\_\_ for case # \_\_\_\_\_, and have found them to be in compliance with the provisions of the (current year) \_\_\_\_\_ (Building Code) \_\_\_\_\_ as adopted by Prince George's County Code."
- Names of the developer/builder and house type/model must be on the cover page and also on the title block of each sheet.
- Areaway plan and section with all required dimensions, including guardrail design
- Window well plan and section with required dimensions

\_\_\_\_\_

Note: Submitted permit plans set shall include Mechanical and Electrical plans. Prince George's County does not review Mechanical and Electrical plans for single family dwellings; however, plans are required for inspections.



**Approval (To Be Completed by EPS Staff)**

- Your request for a **Standard Letter of Exemption** from the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (WCO) is hereby **approved**. This Standard Letter of Exemption is issued because the property has no previous TCP approvals and:
- Is less than 40,000 square feet in size; and/or
  - Contains less than 10,000 square feet of woodland; or
  - The project is a residential construction activity resulting in the disturbance of less than 10,000 square feet of woodlands on a single lot of any size; or
  - The project is subject to the Maryland Forest Conservation Act and will be reviewed by Department of Natural Resources; and/or
  - Other:

- Your request for a **Numbered Letter of Exemption** from the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (WCO) is hereby approved. This Letter of Exemption is issued because the site is over 40,000 square feet in size and contains over 10,000 square feet of woodland; however the project has no previous TCP approvals and:
- Results in the cumulative clearing of less than 5,000 square feet of woodland over a five-year period. Proposed clearing is \_\_\_\_\_ ft<sup>2</sup>. If application is for a revision, cumulative clearing to date (not including currently proposed) is \_\_\_\_\_ ft<sup>2</sup>; or
  - The project is a government or linear project that results in the clearing of less than 20,000 square feet of woodland. Proposed clearing is \_\_\_\_\_ ft<sup>2</sup>. Revisions: cumulative clearing to date (not including currently proposed) is \_\_\_\_\_ ft<sup>2</sup>; or
  - The proposed activity is for a forest harvest in the \_\_\_\_\_ Zone(s), in accordance with the requirements of Section 25-119(b)(7) and has a Forest Stewardship Management Plan prepared by a licensed professional.

Other:

This letter is valid for five years from approval or until such time as the cumulative woodland disturbance exceeds the minimum specified above during the validity period. If a development review application (preliminary plan, detailed site plan, etc. is required, the Numbered Exemption may be considered invalid in accordance with Section 25-119(b)(6)(A). A copy of this letter must be submitted at the time of development activity or permit application.

\_\_\_\_\_  
Planning Director or Designee:

\_\_\_\_\_  
Approval:

\_\_\_\_\_  
Expiration:

**Office Use Only**

Numbered Exemption       Standard Exemption      Exemption Number: \_\_\_\_\_

Staff Reviewer: \_\_\_\_\_ Receipt Number: \_\_\_\_\_ Filing Fee: \_\_\_\_\_



# ATTACHMENT L



PRINCE GEORGE'S COUNTY GOVERNMENT  
Department of Permitting, Inspections and Enforcement  
(301) 636-2060



## RIGHTS-OF-WAY SURVEY TRANSMITTAL (for submittal and processing of easements and deeds)

Name of Project: \_\_\_\_\_ Date Submitted: \_\_\_\_\_  
Name of Street: \_\_\_\_\_ Subdivision Plat Ref: \_\_\_\_\_  
(For Street Dedication)  
DPIE Permit #: \_\_\_\_\_ DPIE Engr District: Nor  Cen  Sou   
Lot(s) Block(s): \_\_\_\_\_  
Tax Account #(s): \_\_\_\_\_  
(Use Sep Sheet For Lot/Block/Acct. #'s If Needed)  
Election District: \_\_\_\_\_  
Tax Map/Grid/Parcel: \_\_\_\_\_  
Owner/Grantor: \_\_\_\_\_  
Signatory \*\*: \_\_\_\_\_ Title/Capacity \*\*: \_\_\_\_\_

**\*\* IMPORTANT:**  
If owned by an Entity, provide documentation which confirms the organization, signatory, and the individual's title/capacity.

Name, Address to where document is to be mailed for signature or instructions for method of delivery  
(include phone number, email address for contact):

For Signature Send to: \_\_\_\_\_ Telephone #: \_\_\_\_\_  
Address: \_\_\_\_\_ Email Address: \_\_\_\_\_  
City/State/Zip: \_\_\_\_\_

-OR-

List Contact To Call For A Document Pick Up Name \_\_\_\_\_  
Telephone # \_\_\_\_\_

Total Number of R/W Transmittals/Packages That Accompany This Submission:

\_\_\_\_\_ On-Site \_\_\_\_\_ Off-site \_\_\_\_\_ Total

NOTE: ALL RIGHTS-OF-WAY SHALL BE PROVIDED GRATIS TO PRINCE GEORGE'S COUNTY PER SECTION 23 OF THE PRINCE GEORGE'S COUNTY CODE

Submitted/Prepared By: \_\_\_\_\_

Consultant Name: \_\_\_\_\_

Contact Person: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Email: \_\_\_\_\_

FOR COUNTY PURPOSES ONLY:

Seen and accepted by: \_\_\_\_\_

for Prince George's County

Date \_\_\_\_\_

Log No. \_\_\_\_\_

IMPORTANT

SUBMIT A SEPARATE TRANSMITTAL FORM AND COMPLETE PACKAGE FOR EACH EASEMENT/DEED SUBMISSION

THIS SUBMISSION MAY INCLUDE;

\* documents that describe several "parts" (individual easements) that appear on the same Schedule "A" and Sketch

\* a list of multiple (joint) owners of the same property that is affected by the easement/deed.

(All owners, or their proven legal representatives, of any piece of property affected will need to sign the easement/deed document.)

DPIE WILL NOT ACCEPT A TRANSMITTAL IF ;

\*it has more than one owner listed and there is no joint ownership of properties

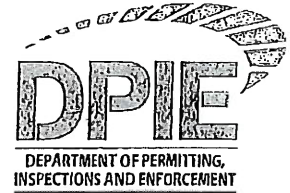
\*there is more than one Schedule "A" and Sketch attached to a single Transmittal

\*any pertinent information is not filled in on the Transmittal or any required documentation is not included in the package.

# ATTACHMENT M



Prince George's County  
Department of Permitting, Inspections  
and Enforcement  
SITE/ROAD PLAN REVIEW DIVISION  
9400 Peppercorn Place, Suite 230  
Largo, Maryland 20774  
(301) 636-2060 ♦ FAX: (301) 925-8510



## DECLARATION OF COVENANTS

This DECLARATION OF COVENANTS, made this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by \_\_\_\_\_ hereinafter referred to as the "Covenantor(s)" to and for the benefit of Prince George's County, Maryland and its successors and assigns hereinafter referred to as the "County".

### WITNESSETH:

Whereas, the County is authorized and required to regulate and control the disposition of storm and surface waters within the County's Stormwater Management District set forth in Articles 21-607 and 21-633, et. seq. of the Annotated Code of Maryland and Prince George's County's Subtitle 32, Sec. 32-195 and Sec. 32-196;

Whereas, Covenantor(s) is (are) the owner(s) of a certain tract or parcel of land more particularly described as:

\_\_\_\_\_ being all or part of the land which it acquired by deed dated \_\_\_\_\_ from \_\_\_\_\_ grantors, and recorded among the Land Records of Prince George's County, Maryland, in Liber \_\_\_\_\_ at Folio \_\_\_\_\_ such property being hereinafter referred to as the "the property"; and

Whereas, the Covenantor(s) desires to construct certain improvements on its property which will alter the extent of storm and surface water conditions on both the property and adjacent lands; and

Whereas, in order to accommodate and regulate these anticipate changes in existing storm and surface water flow conditions, the Covenantor(s) desires to build and maintain at its expense, a storm and surface water management facility and system more particularly described and shown on plans titled \_\_\_\_\_ and further identified under approval number \_\_\_\_\_; and

Whereas, the County has reviewed and approved these plans subject to the execution of this agreement.

NOW THEREFORE, in consideration of the benefits received by the Covenantor(s), as a result of the County's approval of this plans, Covenantor(s), with full authority to execute deeds, mortgages, other covenants, and all rights, title and interest in the property described above do hereby covenant with the County as follows:

1. Covenantor(s) shall construct and perpetually maintain, at its sole expense, the above referenced storm and surface management facility and system in strict accordance with the plan approval granted by the County.
2. Covenantor (s) shall submit to the County's Department of the Environment (301.883.5810) inspection report during the first year of operation and at least once every three (3) years thereafter. This site inspection and reporting are to be certified by a Maryland license professional engineer to ensure compliance with the approved plan and maintenance agreement.
3. Covenantor (s) shall, at its sole expense, make such changes or modifications to the storm drainage facility and system as may, in the County discretion, be determined necessary to ensure that the facility and system is properly maintained and continues to operate as designed and approved.
4. The County, its agents, employees and contractors shall have the perpetual right of ingress and egress over the property of the Covenantor(s) and the right to inspect and verify the inspection report at reasonable times and in reasonable manner, the storm and surface water facility and system in order to ensure that the system is being properly maintained and is continuing to perform in an adequate manner.
5. The Covenantor (s) agrees that should it fail to correct any defects in the above described facility and system within ten (10) days from the issuance of written notice, or shall fail to maintain the facility in accordance with the approved design standards and with the law and applicable executive regulation or, in the event of an emergency as determined by the County in its sole discretion, the County is authorized to enter the property to make all repairs, and to perform all maintenance, construction and reconstruction as County deems necessary. The County shall then assess the Covenantor (s) and/or all landowners served by the facility for the cost of the work, both direct and indirect, and applicable by the facility and may be placed on the property tax bills of said properties and collected as ordinary taxes by the County.
6. Covenantor (s) shall indemnify, save harmless and defend the County from and against any and all claims, demands, suits, liabilities, losses, damages and payments including attorney fees claimed or made by persons not parties to this Declaration against the County that are alleged or proven to result or arise from the Covenantor(s) construction, operation, or maintenance of the storm and surface water facility and system that is the subject of this Covenant.
7. The covenants contained herein shall run with the land and the Covenantor(s) further agrees that whenever the property shall be held, sold and/or conveyed, it shall be subject to the covenants, stipulations, agreements and provisions of this Declaration, which shall apply to, bind and be obligatory upon the Covenantor(s) hereto, its heirs successors and assigns and shall bind all present and subsequent owners of the property served by the facility.

- 8. The Covenantor (s) shall promptly notify the County when the Covenantor(s) legally transfers any of the Covenantor(s) responsibilities for the facility. The Covenantor(s) shall supply the County with a copy of any document of transfer, executed by both parties.
- 9. The provisions of this Declaration shall be severable and if any phrase, clause, sentence or provisions is declared unconstitutional, or the applicability thereof to the Covenantor is held invalid, the remainder of this Covenant shall not be affected thereby.
- 10. The Declaration shall be recorded among the Land Records of Prince George's County, Maryland at the Covenantor(s) expense.
- 11. In the event that the County shall determine at its sole discretion at future time that the facility is no longer required, then the County shall at the request of the Covenantor(s) execute a release of this Declaration of Covenants which the Covenantor(s) shall record at its expense.

IN WITNESS WHEREOF, the Covenantor(s) have executed this Declaration of Covenants as of this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

ATTEST:

FOR THE COVENANTOR(S)

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Printed Name)

\_\_\_\_\_  
(Printed Name and Title)

STATE OF \_\_\_\_\_:

COUNTY OF \_\_\_\_\_:

On this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, before me, the undersigned officer, a Notary Public in and for the State and County aforesaid, personally appeared \_\_\_\_\_, who acknowledged themselves to be \_\_\_\_\_, of \_\_\_\_\_, and as such authorized to do so, executed the foregoing instrument for the purposes therein contained by signing their name as \_\_\_\_\_ for said \_\_\_\_\_.

WITNESS my hand and Notary Seal

My commission expires: \_\_\_\_\_

\_\_\_\_\_  
Notary Public

Seen and approved: \_\_\_\_\_

\_\_\_\_\_  
Prince George's County, MD  
Department of Permitting, Inspections and Enforcement

# ATTACHMENT N

Stormwater Management Design Manual

Appendix 5-6

## SAMPLE AFFIDAVIT

### AFFIDAVIT

The purpose of this affidavit is to certify that pursuant to *CB-15-2011*, Informational Mailing letters regarding the application for Site Development Concept Plan approval [*Plan No.*]; [*Project Name*], were mailed to all adjoining property owners, registered associations, municipalities within a mile, and previous parties of record on [*Date*].

I, ( \_\_\_\_\_ ), solemnly affirm under the penalties of perjury and upon personal knowledge that the contents of the foregoing paper are true.

\_\_\_\_\_  
Name

\_\_\_\_\_  
Date

STATE OF MARYLAND  
COUNTY OF PRINCE GEORGE'S, ss:

I HEREBY CERTIFY that on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, before me, the subscriber, a Notary Public, for the State and County aforesaid, personally appeared ( \_\_\_\_\_ ), being authorized to execute this Affidavit in accordance with the requirements of the Prince George's County Zoning Ordinance for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

\_\_\_\_\_  
Notary Public

My Commission Expires: \_\_\_\_\_

[NOTARIAL SEAL]

---

SAMPLE NOTIFICATION LETTER

[Date]

[Recipient]

Dear:

Re: *[Site Development Concept Plan Number and Name of Project]*

A Site Development Concept Plan application for the above-referenced project was filed on [Date] (The date that a Site Development Concept number is issued by DPIE) for review to the Department of Permitting, Inspections and Enforcement ("DPIE").

The subject property consists of approximately [ ] acres with an address of *[address, if applicable]*, which is located *[Give nearest point of reference by road frontage or distance from nearest intersection]*. The nature of the review includes a conceptual stormwater management plan for proposed development of the subject property as *[give general description of development for example residential, commercial, mixed use]*

If you wish to obtain more information about the proposed Site Development Concept Plan you should contact (Design Consultant) at (Consultants Phone number), visit the Department of Permitting, Inspections and Enforcement noted here where the plan and application may be reviewed, or you may contact the applicant's engineer of record at *[provide engineer's contact info]*.

**IMPORTANT:** This notice is your opportunity to interact with the applicant. Contacting the applicant as soon as possible after receiving this notice will help facilitate your ability to receive information and/or establish a time when the applicant may meet with you or your civic group to provide information and answer questions about the development proposed.

Sincerely,