

GENERAL NOTES

- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE WORK OF ALL SUBCONTRACTORS AS REQUIRED TO COMPLETE THE WORK, AND SHALL VERIFY THAT ALL WORK IS DONE TO THE HIGHEST DEGREE OF CRAFTSMANSHIP BY JOURNEYMEN OF THE RESPECTIVE TRADES.
- 2) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, AND SHALL WORK TO CRITICAL ALIGNMENTS AS INDICATED ON THE DRAWINGS, AND SHALL NOT SCALE THE DRAWINGS FOR MEASUREMENTS.
- 3) IF ANY DISCREPANCIES IN DIMENSIONS OR CONDITIONS ARE FOUND, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK.
- 4) THE CONTRACTOR SHALL MAINTAIN THE SITE CLEAN AND FREE OF DEBRIS. THE CONTRACTOR SHALL MAINTAIN THE SITE AND JOB CONDITIONS IN SUCH A MANNER AS TO PROTECT FROM INJURY ALL PERSONS AND PROPERTY.
- 5) ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED BY THE CONTRACTOR PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF THESE UTILITIES.
- 6) PROVIDE FOR THE DEMOLITION OF ALL EXISTING ITEMS WHICH WILL INTERFERE WITH THE WORK. PROVIDE MECHANICAL, ELECTRICAL AND PLUMBING DEMOLITION AS MAY BE REQUIRED.
- 7) PROVIDE BRACING AND SHORING AS REQUIRED TO PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE, AS WELL AS TO PROTECT PERSONS AND PROPERTY. VERIFY ALL BEARING CONDITIONS PRIOR TO BEGINNING DEMOLITION.

CODE SUMMARY

ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC 2012), INCLUDING ALL APPLICABLE PRINCE GEORGE'S COUNTY AND STATE OF MARYLAND AMENDMENTS & SUPPLEMENTS

CONSTRUCTION SHALL CONFORM TO ALL OTHER APPLICABLE LOCAL, STATE AND NATIONAL CODES, STANDARDS AND ORDINANCES.

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MEASURED ELEVATIONS- FRONT

ZONING SUMMARY

SUBJECT PROPERTY:

3404 RANDALL ROAD
SUITLAND, MD 20746

LOT: 21 PLAT BOOK: 92 PLAT: 1 BLOCK: A ZONE: R-55

AREA CALCULATIONS:

TOTAL LOT AREA: 6,600.0 S.F.

EXIST LOT COVERAGE: 1,092.0 S.F.
EXISTING HOUSE: 385.0
EXISTING DRIVEWAY: 385.0
TOTAL: 1,477.0 S.F.

PROPOSED TOTAL LOT COVERAGE: NO CHANGE

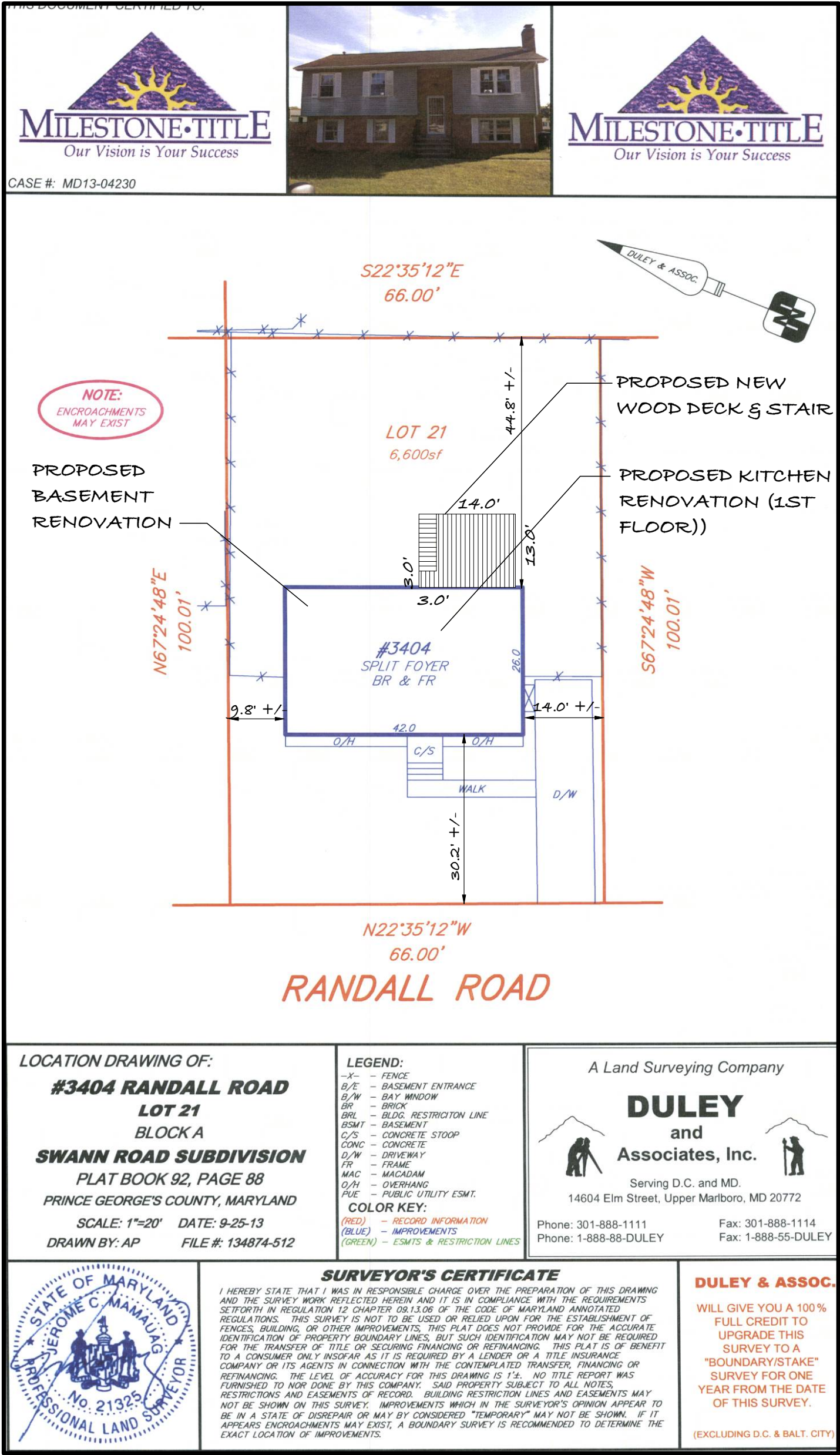
MAXIMUM LOT COVERAGE: 30.0%
EXISTING LOT COVERAGE: 22.0%
PROPOSED LOT COVERAGE: NO CHANGE

SET BACKS:

MINIMUM FRONT YARD: 25.0 FT
EXISTING FRONT YARD: 30.2 FT
PROPOSED FRONT YARD: NO CHANGE

MINIMUM REAR YARD: 20.0 FT
EXISTING REAR YARD: 44.8 FT
PROPOSED REAR YARD: NO CHANGE

MINIMUM SIDE YARDS: 8.0 FT AND 9.0 FT
EXISTING SIDE YARDS: 9.8 FT AND 14.0 FT
PROPOSED SIDE YARDS: NO CHANGE



AHMANN LLC
ARCHITECTURAL SERVICES
4408 BEECHWOOD ROAD UNIVERSITY PARK, MARYLAND 20782

PHONE 301 864 1334
FAX 301 864 6818

PROJECT NOTES
SITE PLAN & INDEX

SCALE: 1" =20'

REDEVELOPMENT AUTHORITY
MODERATE REHABILITATION

3404 RANDALL ROAD
SUITLAND, MD 20746

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License No. 7957-R, Expiration Date: 12/29/2015

CONSTRUCTION DOCUMENTS ISSUE
14 OCTOBER 2014

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SITE DIAGRAM

FROM HOUSE LOCATION DRAWING BY: DUDLEY & ASSOCIATES, UPPER MARLBORO, MD, MAY 13, 2013
WITH SUPPLEMENTAL INFORMATION BY: AHMANN ARCHITECTS

PROPOSED
BASEMENT PLAN

SCALE: 1/4" = 1'-0"

REDEVELOPMENT AUTHORITY
MODERATE REHABILITATION

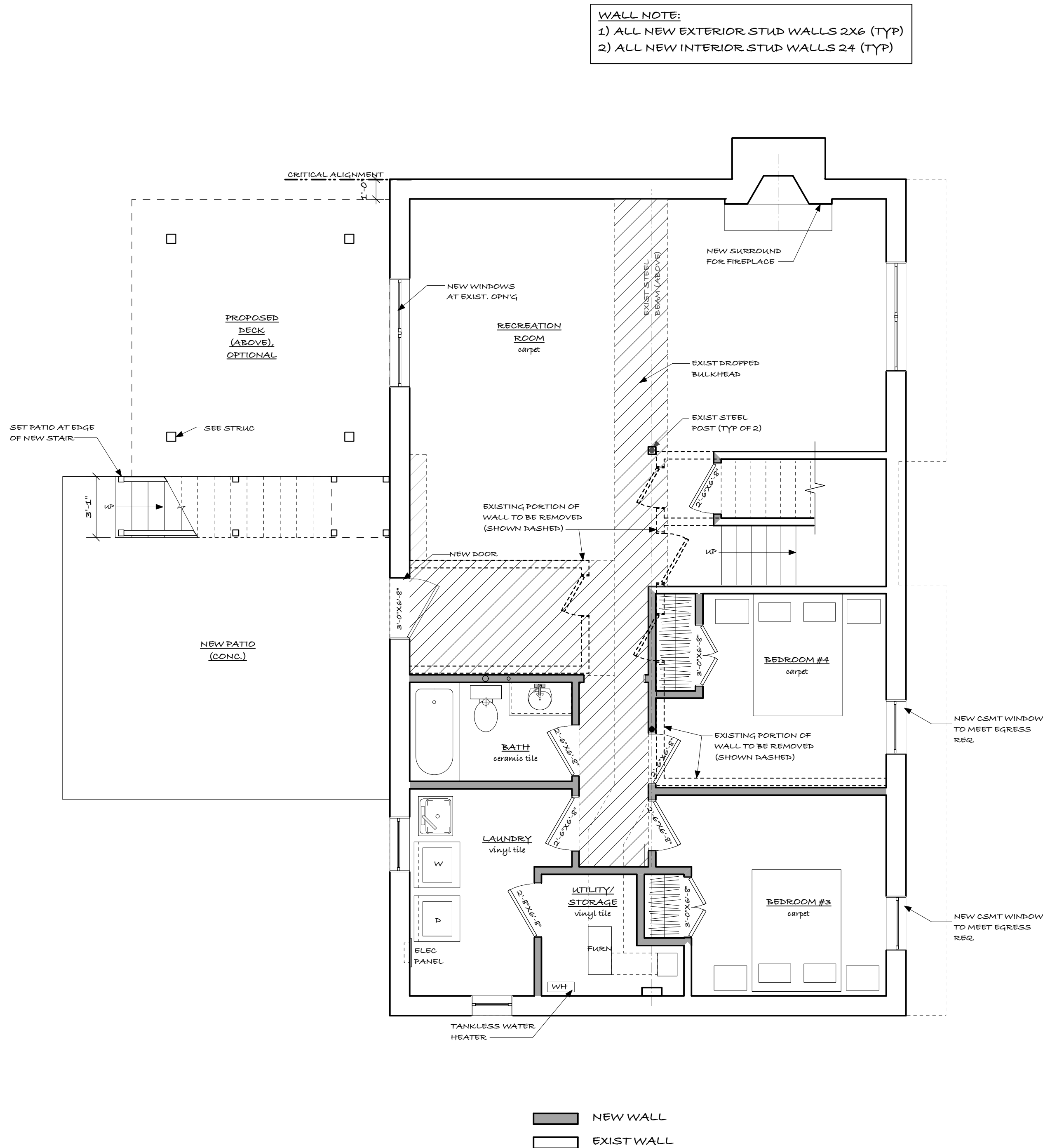
3404 RANDALL ROAD
SUITLAND, MD 20746

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License No. 7957-R, Expiration Date: 12/29/2015

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1 PROPOSED BASEMENT PLAN
Scale: 1/4" = 1'-0"

PROPOSED
FIRST FLOOR PLAN

REDEVELOPMENT AUTHORITY
MODERATE REHABILITATION

3404 RANDALL ROAD
SUITLAND, MD 20746

SCALE: 1/4" = 1'-0"

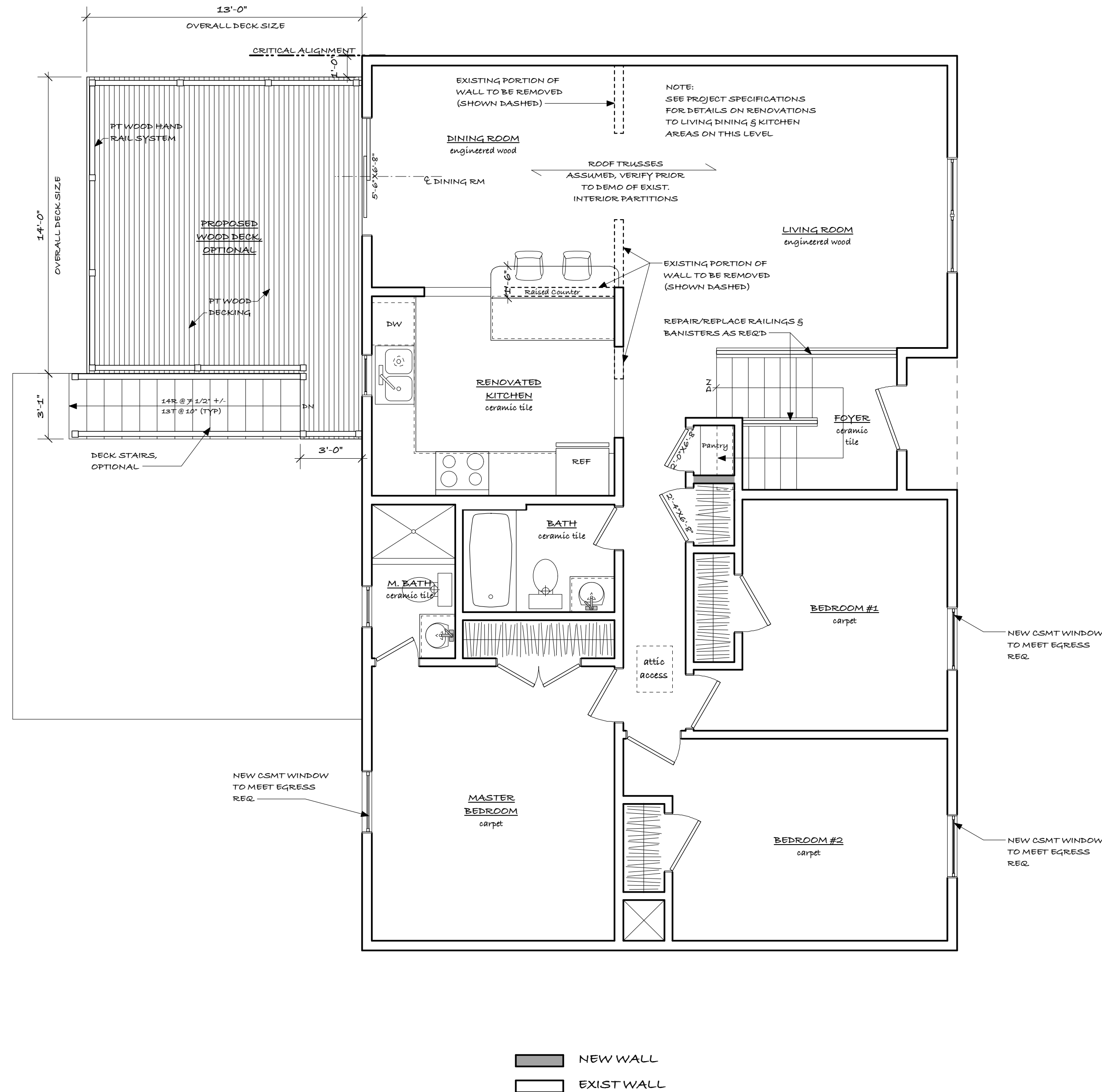
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License No. 7957-R, Expiration Date: 12/29/2015

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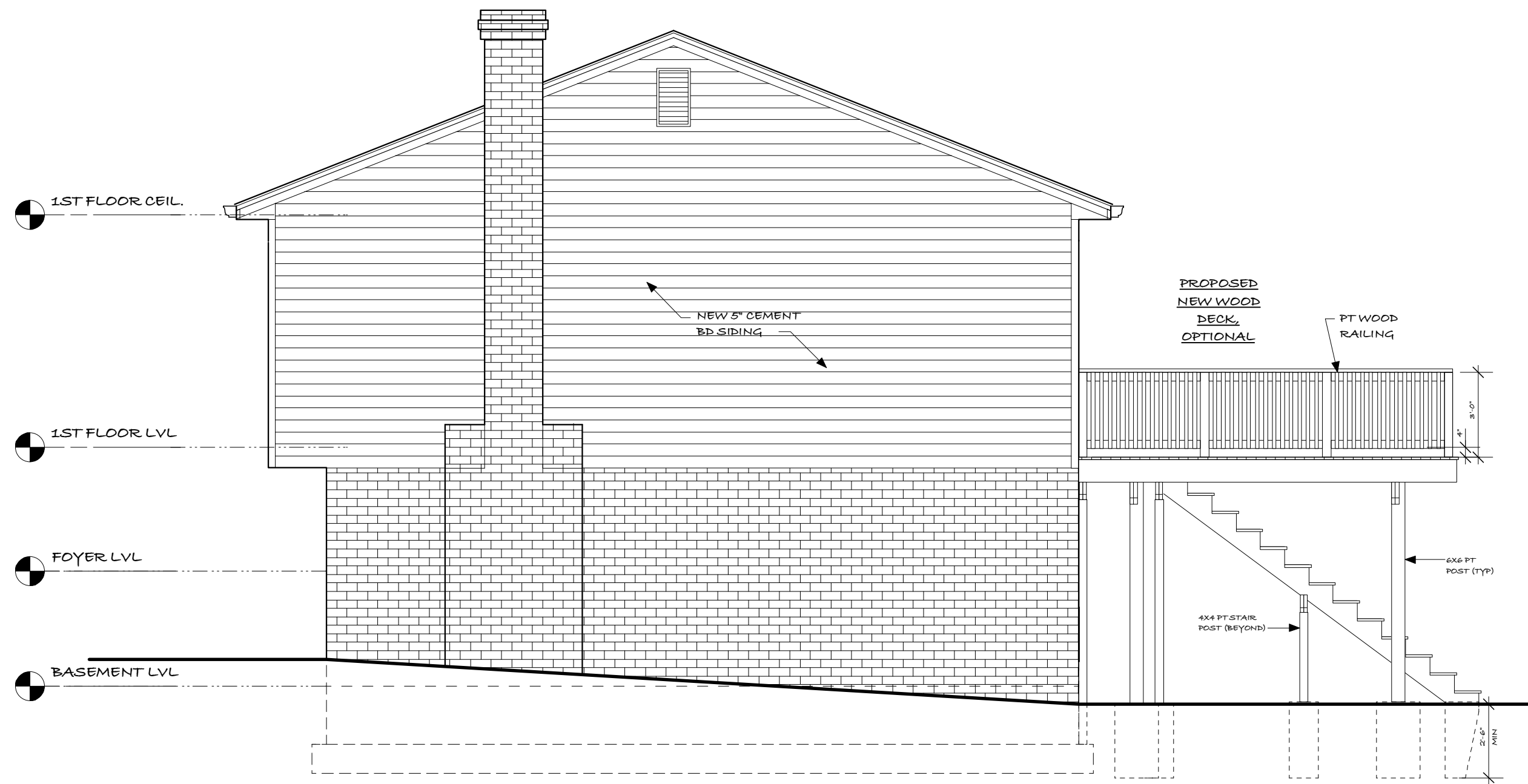
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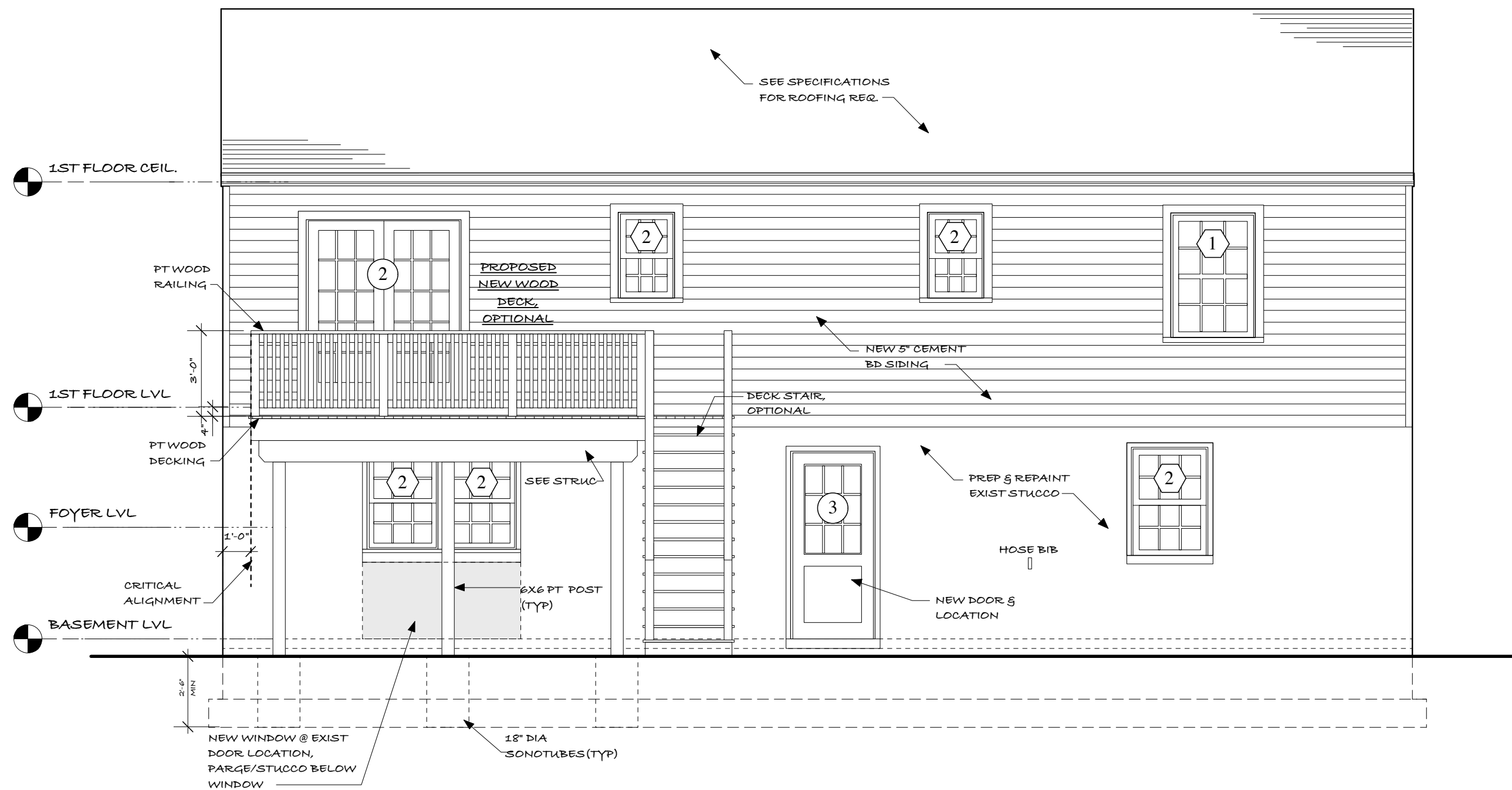
WALL NOTE:
1) ALL NEW EXTERIOR STUD WALLS 2X6 (TYP)
2) ALL NEW INTERIOR STUD WALLS 24 (TYP)



1 PROPOSED FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



2 PROPOSED LEFT SIDE ELEVATION
Scale: 1/4" = 1'-0"



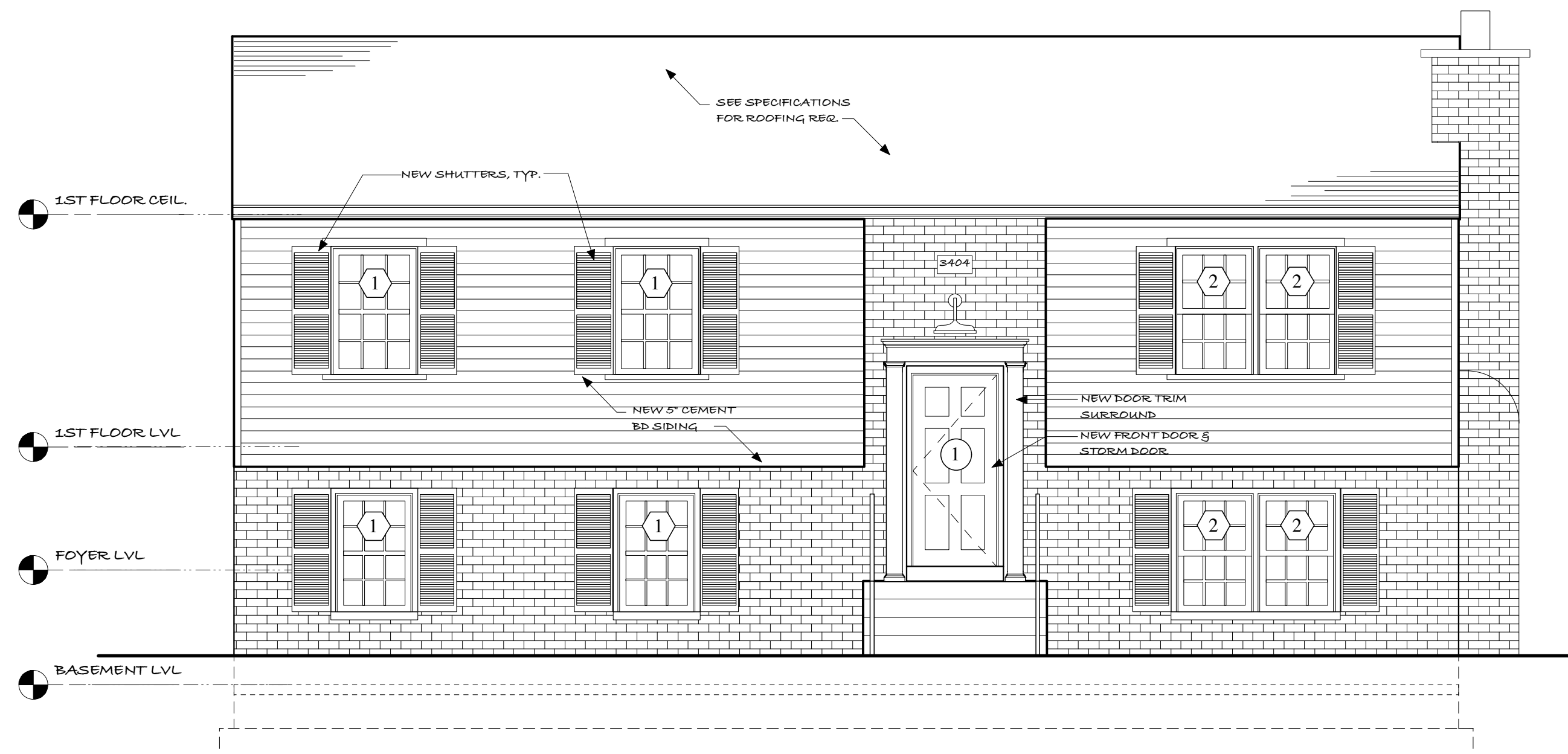
1 PROPOSED REAR ELEVATION
Scale: 1/4" = 1'-0"

WINDOW & EXTERIOR DOOR SCHEDULE

WINDOW & DOOR MANUFACTURER SHALL BE SELECTED BY DEVELOPER. ALL UNITS SHALL BE ENERGY STAR RATED AND PROVIDED WITH INSULATED LOW-E GLAZING. ALL OPERABLE UNITS SHALL BE PROVIDED WITH SCREENS. WINDOW HARDWARE AND JAMB LINER COLORS SHALL BE DETERMINED BY THE DEVELOPER. ALL JAMB DIMENSIONS SHALL BE FIELD VERIFIED (CONTRACTOR TO VERIFY IN FIELD). REFER ALSO TO PROJECT SPECIFICATIONS.

ITEM	DESCRIPTION
1	CASEMENT WINDOW, WIDER CENTER MUNTIN TO REPLICATE DOUBLE HUNG WINDOW STYLE*
2	DOUBLE HUNG WINDOW
1	FRONT ENTRY DOOR BY DEVELOPER, FEATHER RIVER, 6 PANEL STYLE
2	PATIO SLIDING DOOR
3	INSWING EXTERIOR DOOR

* VERIFY WINDOW MEETS EGRESS AT BEDROOMS



1 PROPOSED FRONT ELEVATION
Scale: 1/4" = 1'-0"

PROJECT SPECIFICATIONS

DIVISION 1 GENERAL REQUIREMENTS

01.01	<p>PROJECT DESCRIPTION: In conjunction with Architectural, and Structural Drawings related to the project, these Specifications describe the scope of Architectural, Structural, Mechanical, Plumbing, Electrical, Landscape and other requirements for a New Rear Deck, and the Moderate Rehabilitation at 3404 Randall Road, Suitland, MD. In addition, the following reports and standards shall be considered as an integral part to the above listed documents: a. The Prince George’s County, Department of Housing and Community Development “CDBG Substantial Rehabilitation Standards for Single Family Homes,” b. The Prince George’s County “Green Building Standards Addendum,” January 2012, and c. RA/NSP Guidelines for Amenities, Materials, and Color Palettes, December 2012. All dimensions shown must be field verified by the Contractor. In submitting a fixed price bid for the Work, the Contractor and Subcontractors confirm that they have reviewed the Documents and have inspected the building and site relative to the intended Work and that the bid shall incorporate the furnishing of all labor, materials, equipment and permits necessary for the satisfactory completion of the rehabilitation of the property identified in these Specifications. 01.02 CODES, PERMITS & INSPECTIONS: All work shall be done in strict compliance with the Prince George’s County Building Code, including the currently adopted IRC edition, as well as any and all other applicable codes, regulations and ordinances. The Contractor shall provide the building permit and all other permits and obtain all inspections required for the Work. Note: the Developer shall be responsible for obtaining the zoning variance/ special exception required. 01.03 PERMIT, FEES AND NOTICES: The Contractor shall secure and pay for all permits, fees and licenses necessary for the proper execution and completion of the work. Give all notices and comply with all laws, ordinances, rules, regulations and orders of any public authority bearing on the work. 01.04 COORDINATION: The Contractor shall be responsible for the coordination of the work of all Subcontractors as required to complete the Work, and shall verify that all work is done to the highest degree of craftsmanship by journeymen of the respective trades. The Contractor shall verify all dimensions, and shall work to critical alignments as indicated on the Drawings, and shall not scale the drawings for measurements. If any discrepancies in dimensions or conditions are found, the Contractor shall contact the Architect for clarification prior to proceeding with that portion of the work. 01.05 CHANGE IN THE WORK: Any change in the work including substitution of materials, workmanship required by these specifications, or changes in the scope of the work as described in the Specifications which may be proposed by the contractor, or found necessary or desirable as the work progresses, shall be in writing with price change given. Changes shall be approved by the Developer, the Contractor and the Architect before any work incidental thereto is started. Additional funds, if required, must be deposited in escrow. 01.06 WORKMANSHIP: Workmanship shall be done in accordance with the standards of several trades known as a “workmanlike manner.” 01.07 LEAD-SPECIFIC LAWS, RULES, REGULATIONS AND GUIDELINE: The execution of this work shall comply with all applicable federal, state and local laws, rules, regulations and guidelines for lead dust environments, including but not limited to: 29 CFR 1926.62 - Lead Construction Standard; 20 CFR 1910.1200 - Hazard Communication Standard; 40 CFR Part 745 - Lead Based Paint Poisoning Prevention in Certain Residential Structures (EPA Regulations); 24 CFR Part 35 - HUD’s Lead Safe Housing Rule. 01.08 GREEN REQUIREMENTS: The Contractor shall provide materials and products to meet the minimum requirements of The Prince George’s County “Green Building Standards Addendum,” January 2012. Specifically that: a. Carpets provided shall meet the Carpet and Rug Institute’s “Green Label Certification.” b. Materials, adhesives, sealants, and coating used throughout the Project shall be a low-VOC or have no VOC and of low-formaldehyde or have no formaldehyde, and c. Lighting and Electrical Fixtures and Equipment and Appliances shall meet the current ENERGY STAR requirements and bear the ENERGY STAR label. 01.09 WASTE/MANAGEMENT/RECYCLING: The Contractor shall recycle all cardboard, paper and plastic wrapping material removed from construction supplies. The Contractor shall maintain and manage recycling bins on site for all recyclable material including materials used by staff (bottles, cans, etc.) All surplus construction materials shall be either recycled or donated to a building supply nonprofit organization (donation to be made in Developer’s name.) Such materials to be stockpiled include brick, glass block, flagstone pavers, wall paneling, etc. Consult with Developer for determination of stockpile locations and related considerations. 01.10 CUTTING AND PATCHING GENERAL: Where required to cut into existing construction to provide for the installation or performance of other work and subsequent fitting and patching, all work shall restore surfaces to their original condition or to the adjoining new surface. Except as otherwise indicated, or as directed by Architect, use materials for cutting and patching that are identical to existing materials. If identical materials are not available, or cannot be used, use materials that match existing adjacent surfaces to the fullest extent possible with regard to visual effect. Use materials for cutting and patching that will result in equal-or-better performance characteristics. Patch with seams which are durable and as invisible as possible. Comply with specified tolerances for the work. Restore exposed finishes of patched areas and where necessary extend restoration into retained adjoining work in a manner which will eliminate evidence of patching and refinishing. 01.11 CUTTING AND PATCHING SYSTEMS: Patch existing systems which are altered or obstructed by the work. Patch in a manner to maintain proper system operation and performance. Systems include, but are not limited to: structural, mechanical, electrical, plumbing, security, audio/visual, foundation drainage, waterproofing, rain leader, etc. 01.12 CUTTING AND PATCHING PRECAUTIONS: Do not cut and patch structural work in a manner that would result in a reduction of load-carrying capacity or of load-deflection ratio. Do not cut and patch operational or safety related components in a manner that would result in a reduction of their capacity to perform in the manner intended. Do not cut or patch work exposed on the buildings exterior or in its occupied spaces, in a manner that would, in the Architect’s opinion, result in lessening the building’s aesthetic qualities. Do not cut and patch work in a manner that would result in substantial visual evidence of cut and patch work. Remove and replace work judged by the Architect to have been cut and patched in a visually unsatisfactory manner. 01.13 ALLOWANCES: Provide allowances for the following items (installation shall be included in base bid): Allowance Item A1: Kitchen and Laundry Appliances, Range, Microwave, Dish Washer, Refrigerator, Washer and Dryer. Material Allowance: \$4,000.00 (See Guidelines for Amenities, Materials, and Color Palettes, for brands.) 01.14 ALTERNATIVES: Provide line item alternatives for the following items: Alternative Item A1: Exterior Deck & Stairs. Provide alternate pricing for deck and stair at rear of house.</p>
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DIVISION 2: DEMOLITION & SITEWORK

02.01	<p>GENERAL: The Contract for Construction shall include all demolition and sitework required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required. 02.02 CODES & STANDARDS: All demolition and site work shall conform to all applicable local, state, federal and national codes and standards. Additionally, the work shall conform to The Prince George’s County Department of Housing and Community Development “CDBG Substantial Rehabilitation Standards for Single Family Homes,” and The Prince George’s County “Green Building Standards Addendum,” January 2012. 02.03 UTILITIES: All existing underground utilities shall be physically located by the Contractor prior to the beginning of any construction in the vicinity of these utilities. The Construction Documents do not represent that all existing utilities are shown or that those shown are correctly located. It is the Contractor’s responsibility to contact each utility company, dig test pits, and take all and whatever steps are necessary to accurately locate and protect all existing utilities. No construction shall be accomplished until the accurate locations of utilities have been made and it has been determined by the Contractor that construction can be accomplished in accordance with these plans without utility conflicts.</p>
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02.04	<p>REMOVAL OF HAZARDOUS MATERIAL: Based on the Mold Inspection report dated 7/3/2013, the readings in the Living Room were elevated. Provide mold remediation in that area and obtain a “mold-free” certificate to be provided to the Developer upon completion of the Work and re-inspection. 02.05 DEMOLITION: Provide for the demolition of all existing items which will interfere with the Work indicated in the Construction Documents. Provide mechanical, electrical and plumbing demolition as may be required to complete that portion of the Work. Follow EPA requirements for the removal and disposal of items containing lead based paint. Except as otherwise indicated, all demolished items shall be hauled from the site and shall be properly disposed of. Note that the Drawings do not account for all items related to these trades which may require demolition, each subcontractor shall make a field visit prior to submitting their bid so as to account for the demolition required to complete the Work indicated. 02.06 EXCAVATIONS: Provide for the excavation and removal (hauling and dumping) of earth as required for the foundation work indicated. Refer to the Drawings to determine the extent of excavation required. 02.07 BRACING AND SHORING: Provide bracing and shoring as required to protect existing construction to remain from damage, as well as to protect persons and property. Verify all bearing conditions prior to beginning demolition. 02.08 PROTECTIONS: Protect existing trees and vegetation which are to remain from physical damage. Do not store materials or equipment within the drip line. Protect structures, utilities, sidewalks, pavements, and other items in areas of work. Provide necessary protection to prevent damage to persons or property. Restore any damaged property to the condition existing prior to the start of the work unless otherwise noted. 02.09 LANDSCAPING: Provide landscaping per the Landscape plan. The scope of landscaping work shall include the removal of vegetation or other obstructions which interfere with the Work and protecting vegetation that is to remain from damage during demolition and construction activities. Additionally, at areas indicated as planting areas top soil shall be provided. Topsoil shall be furnished and placed 4 inches thick over the area to be sodded or seeded, and spread evenly to the true contours of the site, and hand raked to an even, smooth surface, ready for sodding, or seeding. Topsoil shall be free of debris, rock, gravel and shall consist of a sandy loam containing not more than 2 to 2.5% organic matter. Developer’s approval shall be obtained of all topsoil. 02.10 ADDITIONAL REQUIREMENTS: Refer to Structural Specifications on the Drawings for additional sitework requirements.</p>
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DIVISION 3: CONCRETE

03.01	<p>GENERAL: The Contract for Construction shall include all concrete work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required. 03.02 CODES & STANDARDS: Concrete work shall conform to all applicable local, state, federal and national codes and standards, as well as those established by the American Concrete Institute as described in its current publications. Additionally, the work shall conform to The Prince George’s County Department of Housing and Community Development “CDBG Substantial Rehabilitation Standards for Single Family Homes.” The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered. 03.03 CONCRETE MATERIALS: All concrete to have minimum compressive strength (FC) = 3000 psi in 28 days. All concrete to be poured in accordance with ACI 301-83 specification. Concrete exposed to weather to be air-entrained. All reinforcing steel to meet ASTM-A-615 Grade 60. Furnish support bars and all required accessories in accordance with C.R.S.I. Standards. Note: Prior to the use of any add mixtures, provide information to the Architect for review and discussion. 03.04 CONCRETE FOOTINGS: Provide concrete footings, grade and edge beams as required for the work indicated. Footings shall have a minimum depth of 2’-6” below grade (to bottom). Provide step down footings as required to meet the level of the existing foundation at abutting conditions. Refer to the Drawings for other specific conditions. 03.05 EXISTING FOUNDATION: Note that existing foundation conditions are unknown and any reference in the drawings and specifications, and addenda to specific conditions are based on assumptions which are subject to field verification. 03.06 EXISTING CONCRETE WALKWAY AT FRONT OF HOUSE: Repair/replace existing concrete walkway at front of house in kind, as required. 03.07 NEW CONCRETE PATIO AT BACK OF HOUSE: Provide new concrete patio at back of house, as indicated in the Drawings.</p>
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DIVISION 4: MASONRY/ STONE

04.01	<p>GENERAL: The Contract for Construction shall include all masonry and stone work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required. 04.02 CODES & STANDARDS: Masonry and stone work shall conform to all applicable local, state, federal and national codes and standards, as well as those established by the Brick Institute of America, Concrete Masonry Association, and the Building Stone Institute as described in their current publications. Additionally, the work shall conform to The Prince George’s County Department of Housing and Community Development “CDBG Substantial Rehabilitation Standards for Single Family Homes.” The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered. 04.03 CONCRETE MASONRY: Where required in conjunction with the foundation work, concrete masonry units shall meet the requirements of ASTM C90, grade N-1 (moisture cured), lightweight, hollow, with minimum compressive strength of 1500 psi. Masonry mortar shall meet the requirements of ASTM C270, type M. Installation of Concrete Masonry Units shall be per the published specifications and recommendations of the National Concrete Masonry Association, and the product manufacturer(s), as applicable to the work described and the conditions encountered. Provide horizontal joint reinforcement at 16 inches on center vertically, typically. Exposed end units shall be solid block. All new concrete masonry below grade shall be parged (both sides) and painted in accordance with Division 9 of these Specifications. 04.04 ADDITIONAL REQUIREMENTS: Refer to Structural Specifications on the Drawings for additional masonry requirements.</p>
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DIVISION 5: METALS

05.01	<p>GENERAL: The Contract for Construction shall include all metals work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required. 05.02 CODES & STANDARDS: Metal work shall conform to all applicable local, state, federal and national codes and standards as well as those established by the National Association of Architectural Metal Manufacturer and the American Institute of Steel Construction as described in their current publications. Additionally, the work shall conform to The Prince George’s County Department of Housing and Community Development “CDBG Substantial Rehabilitation Standards for Single Family Homes.” The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered. 05.03 METAL AIR CONDITIONER CAGE: Provide and install and fully enclosed metal cage for the protection of the exterior air conditioning unit from theft. The cage shall have an adequate gate to allow for service. 05.04 REPAIR OF EXISTING CHAIN LINK FENCE: Repair existing chain link fence as required. 05.05 ADDITIONAL REQUIREMENTS: Refer to Structural Specifications on the Drawings for additional metal requirements.</p>
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DIVISION 6: WOOD / CARPENTRY

06.01	<p>GENERAL:</p>
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06.02	<p>CODES & STANDARDS: Woodwork shall conform to all applicable local, state, federal and national codes and standards as well as those established by the National Forest Products Association, the American Plywood Association and the Architectural Woodwork Institute as described in their current publications. Additionally, the work shall conform to The Prince George’s County Department of Housing and Community Development “CDBG Substantial Rehabilitation Standards for Single Family Homes,” and The Prince George’s County “Green Building Standards Addendum,” January 2012. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered. 06.03 FRAMING MATERIALS: Provide and install all framing lumber as required to complete the Work. Refer to Structural Specifications on the Drawings for specific material and installation requirements. All framing material in direct contact with concrete, masonry, or within 8 inches of grade shall be pressure treated with preservatives. 06.04 EXISTING SHEATHING & SUB-FLOORING: Evaluate condition of existing exterior roof, wall sheathing and sub-flooring as practicable. Repair or replace as needed. Replaced exterior wall sheathing shall be standard grade plywood, exterior glue, 1/2 inch thick. Replaced roof sheathing shall be interior plywood with exterior glue, 5/8 inch thick and installed with clips. Replaced floor sheathing (sub-flooring) shall be 3/4 inch tongue and groove. Plywood shall be installed per APA specifications, requirements and recommendations. 06.05 CEMENT BOARD SIDING: Remove all layers of existing siding (vinyl, wood and other) to expose all existing sheathing. Evaluate and repair sheathing as per Section 06.04 above. Provide and install factory primed Cement Board Siding at existing house walls with a completely engineered and installed drainage plane over the existing wood frame walls as indicated in the Drawings. The drainage plane shall include infiltration wrap, flashings and all other items required for proper drainage of any moisture behind the siding. Coordinate Cement Board Siding installation with flashing requirements as required for a complete and weather tight installation. Flashing components and their installation shall meet the specifications, requirements, and recommendations of the product manufacturer. The cement board siding material shall be HardiePlank Lap Siding pre-finished smooth, 5” exposure lap siding as manufactured by James Hardie of Mission Viejo, California, or approved equal. Installation shall be per the product manufacturer’s written specifications, requirements and recommendations. Cement Board Siding color and finish shall be selected by the Developer. Siding shall be field painted in accordance with Division 9 of these Specifications. 06.06 PVC TRIM: Provide and install PVC Trim Board material, Azek or approved equal, in sizes and shapes as indicated, or required, for corner boards, band boards and window and door trim as indicated in the Drawings. Installation shall be per the product manufacturer’s written specifications, requirements and recommendations for the installation indicated and the conditions encountered. PVC Trim Boards shall be primed and painted in accordance with the requirements of these Specifications. Coordinate Trim Board installation with flashing requirements as required for a complete and weather tight installation. 06.07 EXTERIOR WOOD DECK FLOORING: Provide and install stained pressure treated wood decking at new Deck. Decking shall be primed on all sides and on cut edges before installation and painted in accordance with Division 9. 06.08 EXTERIOR WOOD DECK HAND RAILING: Provide and install stained pressure treated wood hand railings at Deck perimeter and at Deck Stair as indicated in the Drawings. Railing shall be primed on all sides and on cut edges before installation and painted in accordance with Division 9. 06.09 WINDOW AND DOOR CASING TRIM: Provide and install window and door casings in shapes, sizes and profiles at new windows and doors, or where windows and doors are deteriorated, to match the existing conditions of the house. The material, its fabrication, and its installation shall conform to the Custom Grade Specifications and Requirements of Section 300 of the Architectural Woodwork Institute’s Architectural Woodwork Quality Standards, Guide Specifications and Quality Certification Program manual, most current edition, as applicable to the Work indicated and the conditions encountered. Unless otherwise noted, all wood used for casings shall be clear, pine, fir or poplar, and shall be painted in accordance with Division 9 of the Specifications. 06.10 INTERIOR WOOD TRIM: Provide and install standing and running trim at areas of new work, or where existing trim is deteriorated, in the shapes and sizes to match the existing house trim profiles, or as otherwise indicated in the Drawings. This includes damaged and missing crown over windows in Living Room, or other locations as required. The material, its fabrication, and its installation shall conform to the Custom Grade Specifications and Requirements of Section 300 of the Architectural Woodwork Institute’s Architectural Woodwork Quality Standards, Guide Specifications and Quality Certification Program manual, most current edition, as applicable to the Work indicated and the conditions encountered. Unless otherwise noted, all wood used for interior standing and running trim shall be clear, pine, fir or poplar, and shall be painted in accordance with Division 9 of the Specifications. 06.11 KITCHEN, BATH VANITY AND OTHER CABINETS: Design, provide and install new kitchen cabinets and new vanity cabinets in each of the existing or remodeled bathrooms. Coordinate Kitchen cabinet design with appliances as specified in Division 11 of these Specifications. Cabinets shall be constructed of solid hardwood face-frames, doors, and drawer fronts with 1/2 inch wood/plywood carcasses and floors. Carcasses shall be joined using wood, metal or plastic corner bracing. Kitchen and bath vanity cabinets shall be Environmentally Certified under the Kitchen Cabinet Manufacturer’s Association’s Environmental Stewardship Program. All manufactured units shall comply with ANSI A161.1 “Recommended Minimum Construction and Performance Standards for Kitchen and Vanity Cabinets” or an equivalent standard. All cabinets shall bear the label of an independent agency that certifies minimum construction standards have been met. Cabinets shall be constructed using formaldehyde free or low formaldehyde, and low VOC materials. Contractor shall provide Developer with specifications and shop and layout drawings including styles and finishes for review, selection and approval. Refer to the RA/NSP Guidelines for Amenities, Materials, and Color Palettes, December 2012. 06.12 CLOSET FIT-OUTS: Provide and install closet fit-outs as indicated in the drawings. Include single rods and shelf as standard closets. Closet fit-outs will be of wood construction. 06.13 PANTRY CLOSET: Provide and install new pantry closet at First Floor with new shelving, as indicated in the Drawings. 06.14 ENGINEERED WOOD: Provide and install engineered wood at the Dining Room, Living Room and Hallway as indicated in the Drawings. Styles, colors and sizes to be selected by Developer and to be guided by the RA/NSP Guidelines for Amenities, Materials, and Color Palettes, December 2012. 06.15 WOOD PILASTER SURROUND: Provide and install new wood pilaster surround and trim work at front door, as indicated in the Drawings.</p>
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DIVISION 7: THERMAL AND MOISTURE PROTECTION

07.01	<p>GENERAL: The Contract for Construction shall include all thermal and moisture protection work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions to include the coordination of the work performed by Elysian Energy LLC contracted separately by the Developer with regard to “energy repairs,” as required. 07.02 CODES & STANDARDS: Thermal and moisture protection work shall conform to all applicable local, state, federal and national codes and standards as well as those established by the National Roofing Manufacturer’s Association and the Sheet Metal and Air Conditioning Manufacturer’s Association. Additionally, the work shall conform to The Prince George’s County Department of Housing and Community Development “CDBG Substantial Rehabilitation Standards for Single Family Homes,” and The Prince George’s County “Green Building Standards Addendum,” January 2012. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered. 07.03 BUILDING INSULATION: All Energy Improvements and insulation will meet or exceed standard insulation practices. Standard insulation practices include providing and installing R-21 batt insulation at all new exterior frame walls, minimum R-13 blow-in insulation at all existing exterior frame walls, R-38 batt or equivalent closed foam cell insulation (where batt insulation if not practicable) at all new and existing attics or rafters, R-13 foil faced batt insulation at new and existing crawl space walls, and R-13 batt insulation at basement furred walls. At duct work running in unconditioned spaces R-6 insulation is used. At new and existing crawl space walls foil-faced foam insulation</p>
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PROJECT SPECIFICATIONS (CONTINUED)

is used. Spray foam insulation is used at all rim boards. All gaps or leaks from crawl spaces to the exterior are sealed with polyurethane foam sealant. All small gaps between joints and around penetrations in exterior wall framing, and at floors, light fixtures, exhaust fans and pipe penetrations is also sprayed-in as needed for air-tight construction. All work complies with the insulation manufacturer's printed instructions and recommendations.

- 07.04

FIBERGLASS SHINGLE ROOFING:
Provide and install CertainTeed Traditional XT30, 30-year fiberglass shingle roofing, or approved equal as required to patch or re-roof house. Roofing scope shall include the complete inspection of the existing house roofing. Contractor to advise Developer on condition and recommendation for replacement. If replacement is required, Contractor shall provide samples of roofing shingles and colors for the Developer's review and final approval. Contractor shall also see to the complete removal and replacement of all existing roofing and existing roofing underlayment, as well as the investigation of the structural integrity of the existing roof sheathing and the replacement of damaged sheathing as required.. The Contractor shall provide and install self adhesive Ice-Guard beneath all flashing and on all edges and ridges and valleys and extend the ice-guard back at least 2 feet past the interior edge of all new roofing. Roofing shall be installed in accordance with roofing manufacturer's specifications, guidelines, and recommendations. Coordinate the installation and flashing of the new roofing with all surrounding and abutting conditions as required for a complete, neat appearing, weather-tight installation. Coordinate with all other trades, and sequence the work as required to provide a water tight final assembly.

GUTTERS & DOWNSPOUTS:
Provide and install gutters and downspouts to match existing as required. Contractor to advise Developer on condition and recommendation for replacement. If replacement is required, Contractor shall provide samples of types and colors for the Developer's review and final approval. Coordinate all drainage work with roofing, flashing, trim, and construction of eaves, walls, or other adjoining work to provide a leak proof, se

WINDOW AND DOOR FLASHING SYSTEM:
Provide and install Tyvek Flashing System at new windows and doors. The Flashing system shall be coordinated with existing housewrap as well as the window and door installation conditions. Flashing components and their installation shall meet the specifications, requirements, and recommendations of the product manufacturer.

MISC. FLASHING:
Provide flashing where indicated or required in exterior wall construction. Flashing material shall be pre finished aluminum in color to be coordinated with trim. Coordinate and sequence the flashing work with the work of other trades as required for a complete, neat appearing, weather-tight installation. Coordinate flashing material with surrounding materials or existing colors as applicable. Flash at all wall projections. cure, and non-corrosive installation. Provide precast concrete splash blocks for each downspout.

SEALANTS:
Provide sealants as required at windows, doors, and in conjunction with all trim work as required for a complete weather-tight construction.
- 07.05
- 07.06
- 07.07
- 07.08
- DIVISION 8: DOORS AND WINDOWS
- 08.01

GENERAL:
The Contract for Construction shall include all doors and windows work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.
- 08.02

CODES & STANDARDS:
Doors and windows work shall conform to all applicable local, state, federal and national codes and standards, as well as those established by the Door and Hardware Institute, the American Woodwork Institute, and the National Woodwork Manufacturer's Association as described in their current publications. Additionally, the work shall conform to The Prince George's County Department of Housing and Community Development "CDBG Substantial Rehabilitation Standards for Single Family Homes," and The Prince George's County "Green Building Standards Addendum," January 2012. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the Work described and the conditions encountered.
- 08.03

EXTERIOR FRONT DOOR:
Provide and install new in-swing door at Main Entrance to replace existing doors at this location. Front door shall be Feather River, six panel. Door shall be insulated fiberglass and ENERGY STAR Certified. Provide specification on door for review and approval by Developer. The contractor shall field verify all jamb requirements.
- 08.04

STORM DOORS:
Provide and install new full view locking storm door at Main Entrance as shown in the Drawings. Provide specification on door for review and approval by Developer. Provide and install frame as needed. Frames shall be painted in accordance with Division 9 of these Specifications. The contractor shall field verify all jamb requirements, as conditions may vary.
- 08.05

SLIDING FRENCH DOOR STYLE:
Provide and install new sliding 15-lite french door at new Rear Deck to replace existing window. Door shall be approved by Developer. Provide and install frame as needed. The contractor shall field verify all jamb requirements.
- 08.06

EXTERIOR IN-SWING DOOR:
Provide and install new in-swing 9-lite door at new Rear Patio at new location. Door shall be approved by Developer. Provide and install frame as needed. The contractor shall field verify all jamb requirements.
- 08.07

GLAZING:
Window and door fabricator shall supply glazing meeting or exceeding the test requirements of CSPC 16-CFR, part 1201 for glazing in "Hazardous Locations" as specified in the applicable IRC Code.
- 08.08

WINDOWS:
Window and door manufacturer shall be selected by Developer. All units shall be ENERGY STAR rated and provided with insulated low-e glazing. All operable units shall be provided with screens. Window hardware and jamb liner colors shall be determined by the developer. All jamb dimensions shall be field verified (contractor to verify in field). New egress windows at front shall be casements with a widened muntin to match the look of a double hung window. New windows at the Recreation Room will be located at existing door location, and shall be parged/repared below windows, as indicated in the Drawings.
- 08.09

SCREENS:
Repair or replace deteriorated window or door screens throughout house as require.
- 08.10

INTERIOR DOORS:
Provide and install all new interior doors at existing house. Door types to be six panel wood colonial. The material, its fabrication, and its installation shall conform to the Custom Grade Specifications and Requirements of Section 300 of the Architectural Woodwork Institute's Architectural Woodwork Quality Standards, Guide Specifications and Quality Certification Program manual, most current edition, as applicable to the Work indicated and the conditions encountered. Unless otherwise noted, all wood used for interior standing and running trim shall be clear, pine, fir or poplar, and shall be painted in accordance with Division 9 of these Specifications.
- 08.11

FINISH HARDWARE:
Provide and install finish hardware at all existing and new doors. Hardware finish shall be brushed nickel. Provide samples for Developer review and approval. The Contractor shall verify all cutout requirements, and shall supply all necessary accessories and trim for complete hardware sets, including items not listed but required for proper operation and installation of sets specified. The Contractor shall coordinate quantities and locations of all door hardware as well as handing of doors.
- DIVISION 9: FINISHES & ACCESSORIES
- 09.01

GENERAL:
The Contract for Construction shall include all finishes work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.
- 09.02

CODES & STANDARDS:
Finishes work shall conform to all applicable local, state, federal and national codes and standards, as well as those established by the Gypsum Association, and the Tile Council of America as described in their current publications. Additionally, the work shall conform to The Prince George's County Department of Housing and Community Development "CDBG Substantial Rehabilitation Standards for Single Family Homes," and The Prince George's County "Green Building Standards Addendum," January 2012. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered.
- 09.03

GYP SUM WALLBOARD:
Gypsum wall board (GWB) shall be glued and screwed into place on wood framing. Provide new GWB at all new ceilings, partition walls and furred areas as indicated in the drawings to include all bulkheads and ceilings
- in Existing Basement. Finish gypsum wallboard surfaces as required for a smooth and even appearance. Provide Durock board under all tile and moisture resistant "green board" at all modifies surfaces in Kitchen and Bathrooms.
- 09.04

INTERIOR PAINTING:
Prepare, prime and paint the whole interior of the house. Interior paint shall be Benjamin Moore, or approved equal, premium grade low VOC satin latex on all wood trim surfaces, and matte latex on gypsum wallboard surfaces, applied in a minimum of two finish coats over one coat of primer/undercoat. Bathroom walls and trim shall be semi gloss paint. Inst-X Stix Waterborne Bonding primer, or equivalent, shall be used to cover existing dark or lacquered paint on wood surfaces at stairs or other locations as required. Interior painting scope includes the complete painting of all new, existing and renovated areas of all floors of the house. Colors shall vary from room to room as well as from walls to ceilings, and shall be selected by the Developer.

09.05

EXTERIOR PAINTING:
Exterior paint shall be Benjamin Moore, or approved equal, premium grade low VOC as recommended for exterior and brick application applied in a minimum of two finish coats over one coat of primer/undercoat. The scope of exterior painting shall include all wood or trim work associated with the installation of the new windows, all exterior stucco walls, and at other locations as required.

09.06

PAINT PREPARATION:
Interior and exterior priming, painting and required preparation shall be per the specifications, requirements and recommendations of the paint manufacturer for the installation indicated and the conditions encountered and in accordance with the EPA Standards.

09.07

GRANITE COUNTERTOPS:
Provide granite countertop for Kitchen cabinets with 3 inch back and side splashes. Color and type to be determined by the Developer and guided by the RA/NSP Guidelines for Amenities, Materials, and Color Palettes, December 2012. Provide coordination as required in placing countertop order and verify all field conditions and requirements with final countertop dimensions. Installation shall be per the specifications, requirements and recommendations of the cabinet manufacturer.

09.08

SOLID SURFACE COUNTERTOPS:
Provide solid surface countertop to be selected by Developer for New and Existing Bathrooms on Basement and First Floor with 3 inch back and side splashes. Color and type to be determined by the Developer and guided by the RA/NSP Guidelines for Amenities, Materials, and Color Palettes, December 2012. Provide coordination as required in placing countertop order and verify all field conditions and requirements with final countertop dimensions. Installation shall be per the specifications, requirements and recommendations of the cabinet manufacturer..

09.09

CERAMIC TILE:
Provide and install ceramic floor tile at renovated Kitchen, First Floor Hall Bathroom, Master Bathroom, and Basement Bathroom floors as indicated in the Drawings. Provide and install tile bath surrounds at at showers and tubs. Tile bath surrounds shall be set on Durock backer board. Styles, colors and sizes to be selected by Developer and to be guided by the RA/NSP Guidelines for Amenities, Materials, and Color Palettes, December 2012.

09.10

VINYL TILE:
Provide and install vinyl floor tile at Laundry Room and Utility Room in the Basement as indicated in the Drawings. Styles, colors and sizes to be selected by Developer and to be guided by the RA/NSP Guidelines for Amenities, Materials, and Color Palettes, December 2012.

09.11

CARPET:
Provide and install new Green Label carpet and padding at renovated Recreation Room, Basement and First Floor Bedrooms as indicated in the Drawings. Material and color to be selected by Developer and guided by the RA/NSP Guidelines for Amenities, Materials, and Color Palettes, December 2012.

09.12

MIRRORS:
Provide and install frameless mirrors at First Floor Hall Bathroom, Master Bathroom and Basement vanities as indicated in the Drawings. Where sizes are not indicated, assume that mirror width shall match the vanity width and the height will be 4 feet 4 inches. Bottom of mirror reflective surface shall be a minimum of 40 inches above finished floor.

09.13

MEDICINE CABINET:
Provide and install a wall mounted medicine cabinet at First Floor Hall Bathroom, Master Bathroom and Basement Bathroom as indicated in the Drawings. Verify wall cavity dimensions for flush installations. Medicine cabinets shall have at least two usable shelves no higher than 44 inches above finished floor. Medicine cabinet mirrors shall have the bottom reflective edge no higher than 40 inches above the finished floor. Developer shall approve location and type of medicine cabinets.

09.14

STAIR HANDRAILS AND BANISTERS:
Remove all existing handrails at stairs and provide and install new handrails. Provide samples to Developer for review and approval. New handrail at Basement stair to match new railings at upper levels. See Drawings for more information and location.

09.15

RECREATION ROOM FIREPLACE SURROUND:
Provide and install new trim surround at existing Basement fireplace, as indicated in the Drawings.

DIVISION 10: NOT INCLUDED

DIVISION 11: EQUIPMENT

11.01

GENERAL:
The Contract for Construction shall include all equipment work required to complete the Work indicated in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.

11.02

CODES & STANDARDS:
Equipment work shall conform to all applicable local, state and national codes and standards. Additionally, the work shall conform to The Prince George's County Department of Housing and Community Development "CDBG Substantial Rehabilitation Standards for Single Family Homes," and The Prince George's County "Green Building Standards Addendum," January 2012. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered.

11.03

RESIDENTIAL APPLIANCES:
Install ENERGY STAR kitchen and laundry appliances as listed below and at locations indicated in the Drawings. All equipment shall be installed to meet the specifications, requirements and recommendations of the manufacturer. Provide all electrical and plumbing hookups and all vent ducting required for a complete installation. Developer to provide model selections prior to rough-in. Appliance List: Refrigerator with Ice Maker Hookup / 30" Electric Range / 30" Ducted Range Hood / Dishwasher / Disposal / Washer / Electric Dryer. Noise capacity of range hood shall not exceed 10 sones. First Floor Hall Bathroom Vent shall have continuous and boost mode with time delay settings. Master Bedroom Bathroom and Basement Bathroom shall have time delay setting only. Bathroom vents shall not exceed 1.0 sones.

DIVISION 12 - 14: NOT INCLUDED

DIVISION 15: PLUMBING & MECHANICAL

15.01

GENERAL:
The Contract for Construction shall include all plumbing and mechanical work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.

15.02

CODES & STANDARDS:
Plumbing and mechanical work shall conform to all applicable local, state and national codes and standards, as well as those established by the American Society of Heating, Refrigeration and Air Conditioning Engineers and the Sheet Metal and Air Conditioning Manufacturer's Association in their current publications. Additionally, the work shall confirm to The Prince George's County Department of Housing and Community Development "CDBG Substantial Rehabilitation Standards for Single Family Homes," and The Prince George's County "Green Building Standards Addendum," January 2012. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered.

15.03

PLUMBING SYSTEM:
Evaluate existing plumbing system and design, provide and install updates as necessary for a properly running system. Scope of work shall include necessary new equipment and devices, material, labor, permits and inspections, for the supply of hot and cold water, and for the sanitary disposal of waste water as required. Any new water lines shall be run inside an insulated condition envelop, or space. All work shall conform to the IRC Plumbing Code, and all other applicable codes regulations, and requirements. Hot and cold supply piping shall be copper with wrought copper sweated fittings. Hot water supply piping shall be insulated.

15.04

15.05

WATER HEATER:
Replace existing water heater with new tankless design as indicated in the Drawings.

15.06

PLUMBING FIXTURES & FITTINGS:
Replace existing fixtures and fittings and provide and install new plumbing fixtures as required for the renovation of the Kitchen, the First Floor Hall Bathroom, the Master Bathroom and the Basement Bathroom. Lavatory faucets shall be metal, washer-less types with pop-up lever, and maximum flow rate of 1.5 GPM. Shower/tub faucets shall be single lever diverter types with an anti-scald device and a hand-held adjustable height shower head with a maximum 2.0 GPM flow rate. Shower/tub drains shall have a lever operated pop-up drain overflow. Showers and bathtubs shall have non-slip bottoms. Bathtubs shall have a wide flat edge that can be sat on when entering and exiting the bathtub. Toilets shall have dual flow rates of 1.6 and 0.9 GPF. Final fixtures, fittings, colors and finishes shall be selected by the Developer.

15.07

BATHROOM ACCESSORIES:
Provide and install bathroom accessories. Bathroom accessories should include grab bars, soap dishes, and toilet paper holders. Final colors and finishes shall be selected by the Developer.

15.08

AIR CONDITIONING & HEATING SYSTEM:
Evaluate existing heating and cooling system, and design, provide and install a new one-zone electric forced air heating and air conditioning system to service the existing two-level house as required. The furnace / air handler unit shall be located in the Mechanical Room in the Basement.

15.09

MECHANICAL EQUIPMENT AND DUCTING:
All new mechanical equipment shall be ENERGY STAR certified, installed to meet the specifications, requirements and recommendations of the manufacturer or the installation required. Provide the following, as applicable: High efficiency air handler; 16 SEER or better condensing unit and evaporator coil; Electronic air cleaner, and Energy Star programmable thermostat. Repair and clean all existing ducting as required. Isolate all equipment as required to properly reduce noise transmission. All HVAC equipment and duct sizing shall follow ACCA Manuals D, J and S. Coordinate work with plumbing and electrical sub-contractors as required for equipment hookups.

15.10

MECHANICAL DESIGN CRITERIA & BID SUBMITTAL:
Cooling: 20 degree cooling differential; 70 degrees indoor DBF, 50% relative humidity/outdoor 90 degrees DBF and 78 degrees WBF, with 24 hour automatic operation. Assume shades to direct light; a clean filter; normal occupancy; normal cooking; doors to remain closed during cooling season. Heating: 70 degrees indoor/17 degrees outdoor.

15.11

MISCELLANEOUS MECHANICAL HOOKUPS:
Repair or replace existing exhaust fans as needed for proper performance and to eliminate any existing leakage. Provide and install wall/roof caps as required for all exhaust fans if needed. Provide and install new exhaust fan for Renovated Kitchen, First Floor Hall Bathroom, Master Bathroom, and Basement Bathroom with ducting to exterior of house. Panasonic WhisperGreen 50 CFM fan, Model No. FV-05VQ5 shall be used at all bathrooms.

DIVISION 16: ELECTRICAL

16.01

GENERAL:
The Contract for Construction shall include all electrical work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.

16.02

CODES & STANDARDS:
Electrical work shall conform to all applicable local, state, federal and national codes and standards, as well as those established by the National Fire Protection Association as described in its current publications. Additionally, the work shall conform to The Prince George's County Department of Housing and Community Development "CDBG Substantial Rehabilitation Standards for Single Family Homes," and The Prince George's County "Green Building Standards Addendum," January 2012. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered, and shall be UL approved.

16.03

ELECTRIC SERVICE, PANEL/LOAD CENTER:
Evaluate existing electric service, and design, provide and install updates to existing house as needed. Circuit breakers shall be full module size. Provide Ground Fault Circuit Interrupt breakers as required for all outlets requiring GFCI safety cutoff. The Electrical Contractor shall circuit all new devices, fixtures, and equipment as required for a complete service. All loads shall be connected for the best possible phase balance.

16.04

CORRECTIONS TO EXISTING ELECTRICAL CIRCUITRY:
Evaluate existing circuiting and make corrections/ upgrade as required for proper balance of loads.

16.05

PRE WIRING WALK-THRU:
Include provisions for a pre wiring walk-thru by the Contractor and Developer. This walk-thru shall take place after all rough-in kits, j-boxes, switch and outlet boxes have been installed, and prior to the installation of all wiring. At this walk-thru, the Developer maintains the right to make minor adjustments in fixture and device locations as required for aesthetic effect. All labor and material costs for such minor adjustments shall be included.

16.06

WIRING:
Evaluate existing wiring and provide and install new wiring as needed. This includes providing and installing new wiring at Basement to service new and existing fixtures as shown on the Drawings. Remove any abandoned wiring or conduits throughout the house and hide any wiring or conduits that are visible. Verify condition and service of exterior conduit along wall and ground at Rear Patio, and repair or remove per Developers direction. All new wiring shall be with copper conductors full rated for the loads served. Circuits shall be connected with loads not to exceed 60% of the breaker trip rating. All electrical wiring shall be run by experienced electricians. All misc. materials and anchoring devices shall be provided and all wiring shall be installed in accordance with the manufacturers specifications, recommendations and requirements for a complete installation. All wiring shall be routed concealed.

16.07

LIGHTING & ELECTRICAL FIXTURES:
Provide and install ENERGY STAR lighting and electrical fixtures as shown in the Drawings. Lighting fixtures shall have fluorescent lamps. Replace existing exterior lighting fixture at Front Entry door and provide and install new exterior fixtures at new Rear Deck Entry door at Dining Room and new door at Recreation Room. Exterior entry lights shall be on photo cells that turn lights on at dusk and off at dawn and provide dusk to dawn low-level lighting. Motion detectors shall be installed to turn lamps on to full brightness. New ceiling fans shall be provided and installed in each Bedroom. Ceiling fans shall be selected by Developer. Closet light fixtures shall be lens covered. Lighting fixtures shall have fluorescent lamps except in ceiling fans with lighting fixtures which shall have CFL bulbs only. Field verify required clearances prior to procuring fixtures - coordinate with mechanical ducting as applicable. All electrical fixtures shall be installed accurately by experienced electricians. All miscellaneous materials and anchoring devices shall be provided and all fixtures shall be installed in accordance with the manufacturers specifications, recommendations and requirements for a complete installation.

16.08

SWITCHES AND OUTLETS:
Replace all switches and outlets, as required, including those servicing appliances. Supplement existing outlets as needed for code compliance. Unless otherwise indicated, all switches and outlets shall be as manufactured by Lutron, or approved equal. Device colors shall be white. The exact location of all switches and outlets shall be as shown in the Drawings or determined by the Developer. Dimmer switches shall be Lutron Ariadni preset dimmers (verify with Developer). The electrical contractor shall properly size dimmers for the lighting loads indicated.

16.09

TELEPHONE & CABLE:
Coordinate with the Developer for the establishment of phone and cable service including resetting exterior phone service box and exterior cable service box as required. Provide phone jacks and cable jacks, and associated wiring at locations to be selected by Developer.

16.10

SMOKE DETECTORS:
Provide and install hard wired interconnected smoke detectors, as required. Smoke detector should be at each floor and one in each bedroom in compliance with fire and safety codes

16.11

CARBON MONOXIDE DETECTOR:
Provide and install one carbon monoxide detector on each floor, as required, in compliance with related codes.

AHMANNN LLC
ARCHITECTURAL SERVICES
4408 BEECHWOOD ROAD UNIVERSITY PARK, MARYLAND 20782

PHONE 301 864 1334
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REDEVELOPMENT AUTHORITY
MODERATE REHABILITATION

PROJECT SPECS
SHEET 2

SCALE: NONE

3404 RANDALL ROAD
SUITLAND, MD 20746

CONSTRUCTION DOCUMENTS ISSUE
14 OCTOBER 2014

A-6

Ahmann LLC
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Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License No. 7957-R, Expiration Date: 12/29/2015

ELECTRICAL SYMBOL LEGEND	
	SWITCH
	3 WAY SWITCH
	DIMMER SWITCH
	JAMB SWITCH
	DUPLEX WALL OUTLET
	DUPLEX OUTLET WITH GROUND FAULT CIRCUIT PROTECTION
	WATER PROOF DUPLEX OUTLET
	APPLIANCE OUTLET OR HOOK-UP (COORDINATE W/ APPLIANCE REQ.)
	DUAL TEL/ETHERNET JACK. (4-WIRE JACK ABOVE W/ ETHERNET BELOW)
	HARD WIRED SMOKE DETECTOR. ALL UNITS TO SOUND IN UNISON
	CARBON DIOXIDE DETECTOR
	OUTLET FOR CABLE TV & ETHERNET HOOK-UP
	CABLE CONNECTION

ELECTRICAL FIXTURE SCHEDULE	
	LED RECESSED: 6 3/4" DIMMING LIGHTOLIER LYTECASTER SERIES NO. 1101LED09N35D1 WITH BASIC WHITE BAFFLE TRIM NO. 1179WH. MAX WATTAGE 23W AT 3500K. PROVIDE FRAME IN KIT AS REQ'D.
	SURFACE MOUNTED FIXTURE: TO BE SELECTED BY DEVELOPER AND INSTALLED BY CONTRACTOR (PROVIDE ALLOWANCE)
	LED RECESSED W/ LENS LITE: 6 3/4" DIMMING LIGHTOLIER LYTECASTER SERIES NO. 1101LED09N35D1 WITH BASIC WHITE BAFFLE TRIM NO. 1179WH AND FLUSH LENS NO. 1190. MAX WATTAGE 23W AT 3500K. PROVIDE FRAME IN KIT AS REQ'D.
	VANITY SCONCE: TO BE SELECTED BY DEVELOPER AND INSTALLED BY CONTRACTOR (PROVIDE ALLOWANCE)
	EXTERIOR SCONCE: TO BE SELECTED BY DEVELOPER AND INSTALLED BY CONTRACTOR (PROVIDE ALLOWANCE)
	CHANDELIER LIGHT: TO BE SELECTED BY DEVELOPER AND INSTALLED BY CONTRACTOR (PROVIDE ALLOWANCE)
	PENDANT LIGHT: TO BE SELECTED BY DEVELOPER AND INSTALLED BY CONTRACTOR (PROVIDE ALLOWANCE)
	FLOURESCENT TROFFER: LIGHTOLIER 2' X 4' UTILITY LIGHT W/ MAX ALLOWABLE LAMPS
	BATHROOM FAN & LAMP VENT: PANASONIC WHISPER CEILING 50 CMF MOUNTED BATHROOM FAN FV-05VQ5
	DUAL HEAD ADJUSTABLE LIGHT WITH MOTION SENSOR: PROGRESS P5203-30 WITH TWO 100 WATT PAR38 LAMPS
	CEILING FAN & LAMP: TO BE SELECTED BY DEVELOPER AND INSTALLED BY CONTRACTOR (PROVIDE ALLOWANCE)

ELECTRICAL NOTES

GENERAL: The Contract for Construction shall include all electrical work required to complete the Work indicated and described in the Construction Documents. Provide all facilities, labor, materials, equipment, and services required. The General Contractor shall provide for the coordination of the work of this division with the work of any and all other divisions as required.

CODES & STANDARDS: Electrical work shall conform to all applicable local, state, federal and national codes and standards, as well as those established by the National Fire Protection Association as described in its current publications. Additionally, the work shall conform to The Prince George's County Department of Housing and Community Development "CDBG Substantial Rehabilitation Standards for Single Family Homes," and The Prince George's County "Green Building Standards Addendum," January 2012. The products and materials used shall be approved by the American Society for Testing Materials as the most applicable to the work described and the conditions encountered, and shall be UL approved

ELECTRIC SERVICE, PANEL/LOAD CENTER: Evaluate existing electric service, and design, provide and install updates to existing house as needed. Circuit breakers shall be full module size. Provide Ground Fault Circuit Interrupt breakers as required for all outlets requiring GFCI safety cutoff. The Electrical Contractor shall circuit all new devices, fixtures, and equipment as required for a complete service. All loads shall be connected for the best possible phase balance.

CORRECTIONS TO EXISTING ELECTRICAL CIRCUITRY: Evaluate existing circuiting and make corrections/ upgrade as required for proper balance of loads.

PRE WIRING WALK-THRU: Include provisions for a pre wiring walk-thru by the Contractor and Developer. This walk-thru shall take place after all rough-in kits, j-boxes, switch and outlet boxes have been installed, and prior to the installation of all wiring. At this walk-thru, the Developer maintains the right to make minor adjustments in fixture and device locations as required for aesthetic effect. All labor and material costs for such minor adjustments shall be included.

WIRING: Provide all wiring required to complete the Work indicated. All wiring shall be with copper conductors full rated for the loads served. Circuits shall be connected with loads not to exceed 60% of the breaker trip rating. All electrical wiring shall be run by experienced electricians accurately and in accordance with the requirements of the drawings. All misc. materials and anchoring devices shall be provided and all wiring shall be installed in accordance with the manufacturers specifications, recommendations and requirements for a complete installation. All wiring shall be routed concealed. All existing wiring shall be removed and replaced.

LIGHTING & ELECTRICAL FIXTURES: Provide and install ENERGY STAR lighting and electrical fixtures as shown in the Drawings. Lighting fixtures shall have fluorescent lamps. Replace existing exterior lighting fixture at Front Entry door and provide and install new exterior fixtures at new Rear Deck Entry door at Dining Room and new door at Recreation Room. Exterior entry lights shall be on photo cells that turn lights on at dusk and off at dawn and provide dusk to dawn low-level lighting. Motion detectors shall be installed to turn lamps on to full brightness. New ceiling fans shall be provided and installed in each Bedroom. Ceiling fans shall be selected by Developer. Closet light fixtures shall be lens covered. Lighting fixtures shall have fluorescent lamps except in ceiling fans with lighting fixtures which shall have CFL bulbs only. Field verify required clearances prior to procuring fixtures - coordinate with mechanical ducting as applicable. All electrical fixtures shall be installed accurately by experienced electricians. All miscellaneous materials and anchoring devices shall be provided and all fixtures shall be installed in accordance with the manufacturers specifications, recommendations and requirements for a complete installation.

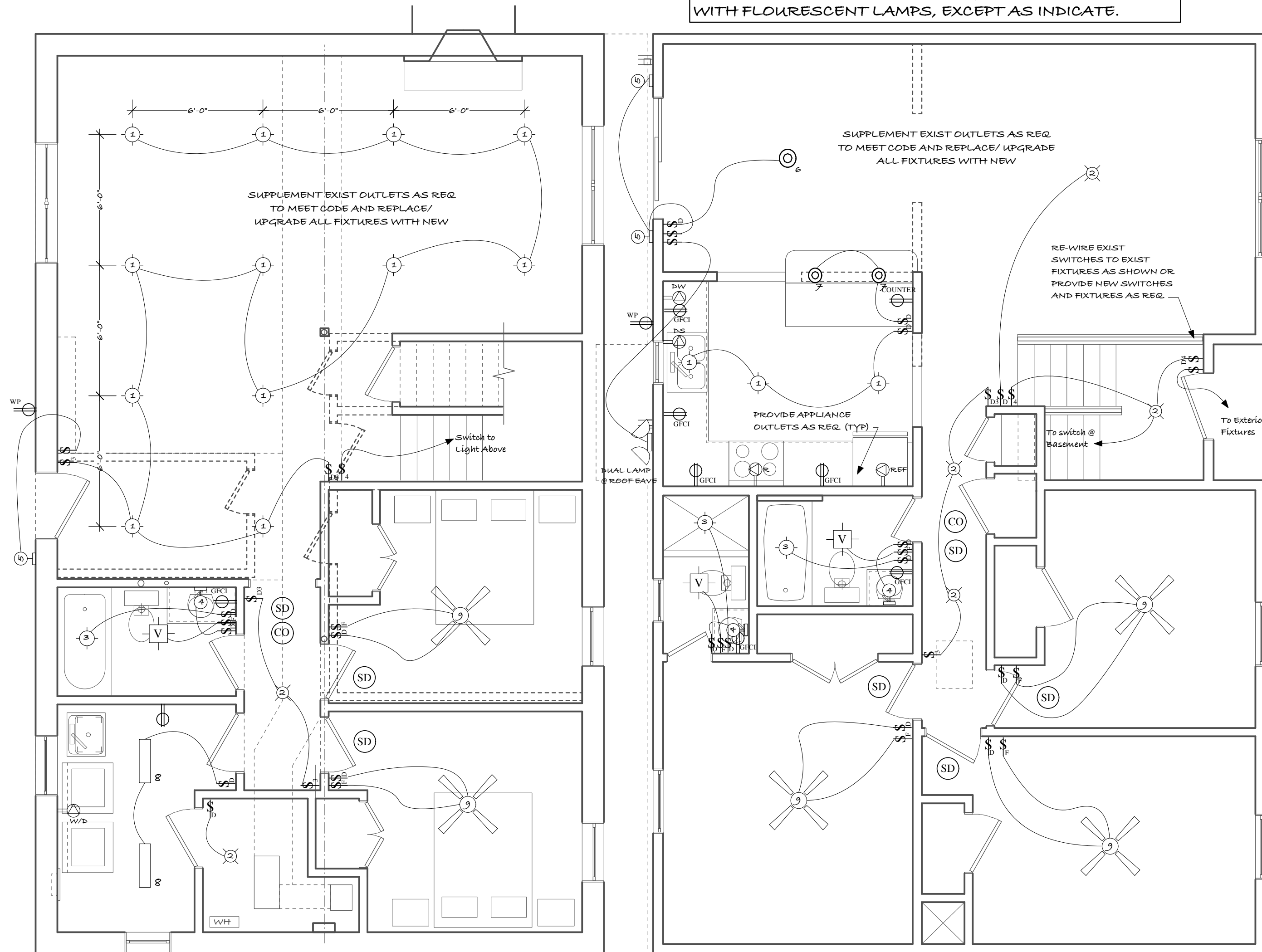
SWITCHES AND OUTLETS: Replace all switches and outlets, as required, including those servicing appliances. Supplement existing outlets as needed for code compliance. Unless otherwise indicated, all switches and outlets shall be as manufactured by Lutron, or approved equal. Device colors shall be white. The exact location of all switches and outlets shall be as shown in the Drawings or determined by the Developer. Dimmer switches shall be Lutron Ariadni preset dimmers (verify with Developer). The electrical contractor shall properly size dimmers for the lighting loads indicated.

TELEPHONE & CABLE:Coordinate with the Developer for the establishment of phone and cable service including resetting exterior phone service box and exterior cable service box as required. Provide phone jacks and cable jacks, and associated wiring at locations to be selected by Developer.

SMOKE DETECTORS:Provide and install hard wired interconnected smoke detectors. Smoke detector should be at each floor and one in each bedroom in compliance with fire and safety codes.

CARBON MONOXIDE DETECTOR:Provide and install one carbon monoxide detector on each floor in compliance with related codes.

LIGHTING NOTE
ALL FIXTURES SHALL BE ENERGY STAR CERTIFIED WITH FLOURESCENT LAMPS, EXCEPT AS INDICATE.



1 ELECTRICAL BASEMENT PLAN
Scale: 1/4" = 1'-0"

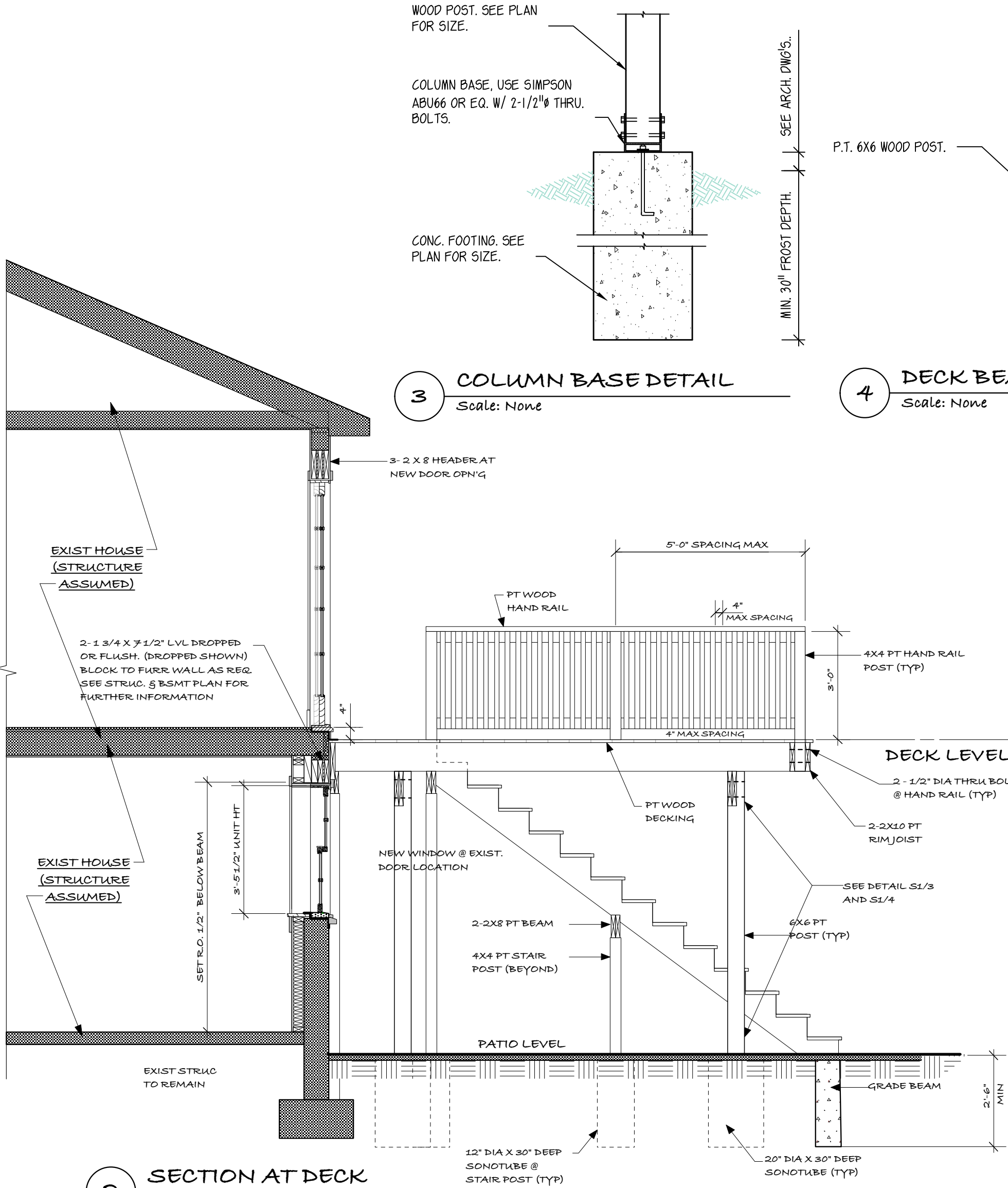
2 ELECTRICAL FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

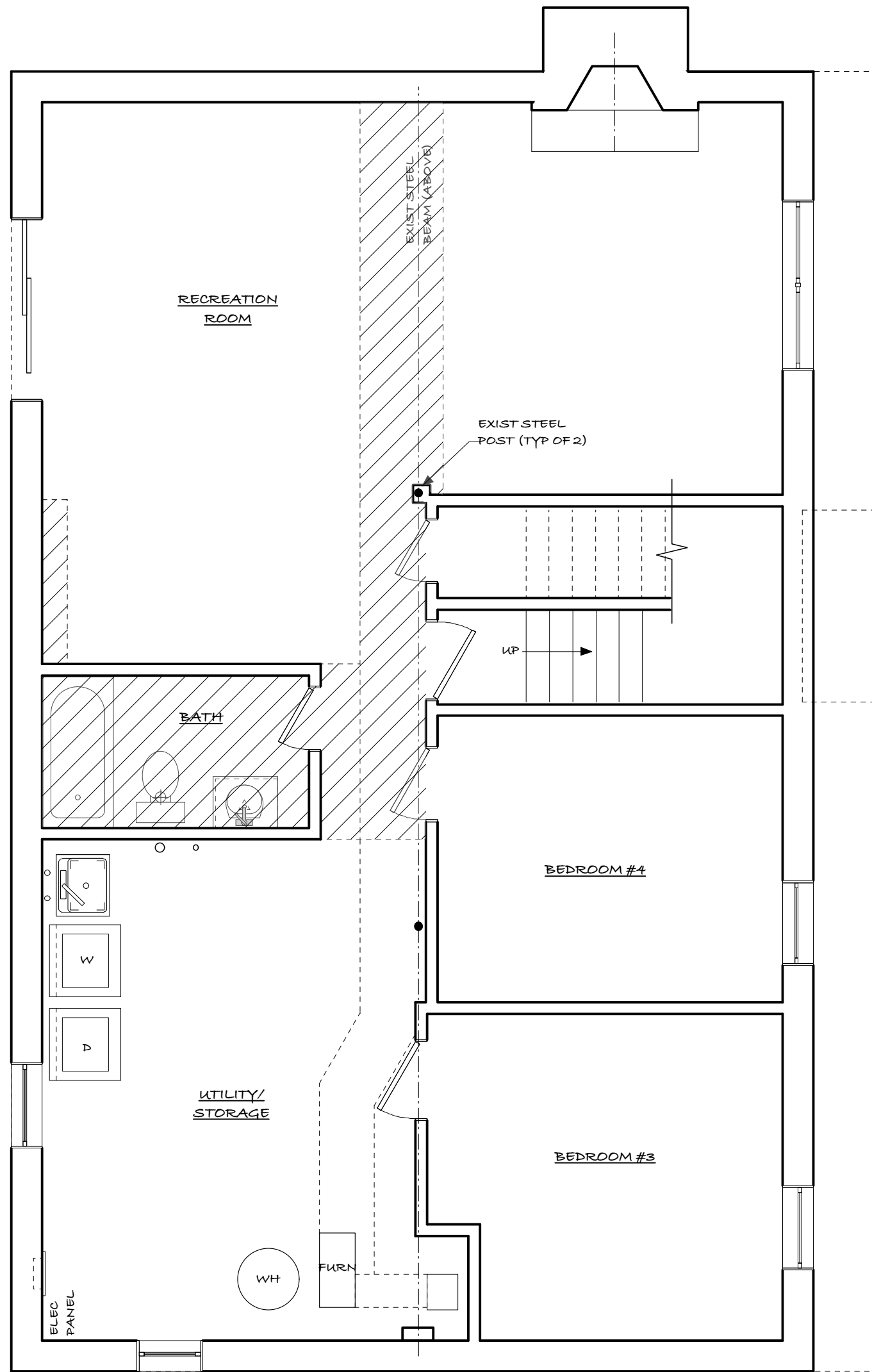
STRUCTURAL SPECIFICATIONS

1. GENERAL
A. THE FOLLOWING LOADING WAS UTILIZED IN THE DESIGN BASED ON IRC 2012:
LIVE LOAD:
ROOF SNOW LOAD = 30 PSF; ROOMS OTHER THAN SLEEPING = 40 PSF, SLEEPING ROOMS = 30 PSF, STAIRS = 40 PSF, DECKS = 40 PSF, EXTERIOR BALCONIES = 60 PSF
DEAD LOAD:
A. MINIMUM OF 12 PSF FOR FLOOR DEAD LOAD AND 15 PSF FOR ROOF DEAD LOAD WAS ADDED IN THE DESIGN.
WIND LOAD:
BASIC WIND SPEED (3-SECOND GUST) = 90 MPH; IMPORTANCE FACTOR I_W = 1.0; WIND EXPOSURE = B; BASIC WIND-FORCE-RESISTING SYSTEM = BEARING WALL SYSTEMS WITH WOOD STRUCTURAL PANEL SHEATHING.
SNOW LOAD:
GROUND SNOW LOAD P_g = 30 PSF; FLAT ROOF SNOW LOAD P_f = 21 PSF.
B. THE FOUNDATION AND FRAMING PLANS ARE SCHEMATIC AND ARE INTENDED ONLY TO DEFINE THE GENERAL REQUIREMENTS AND CONCEPTS OF THE WORK. THEY DO NOT SHOW ALL DETAILS AND REQUIREMENTS OF THE WORK AND ARE NOT NECESSARILY COORDINATED WITH THE ARCHITECTURAL, ELECTRICAL, MECHANICAL AND PLUMBING REQUIREMENTS OF THE WORK. THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER IS RESPONSIBLE FOR ASSURING THAT ALL ITEMS REQUIRED FOR A COMPLETE STRUCTURAL SYSTEM IN ACCORDANCE WITH THE CONCEPTS INDICATED ARE PROVIDED AND INSTALLED. THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER IS RESPONSIBLE FOR COORDINATION OF THE STRUCTURAL WORK WITH OTHER TRADES, AND FOR ARRANGING OFFSETS, SECURING ADDITIONAL MATERIAL, ETC. AS MAY BE REQUIRED BY SUCH COORDINATION.
C. THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER SHALL COORDINATE THE PLACEMENT OF ALL FOUNDATION, SLAB AND FRAMING ELEMENTS AS REQUIRED FOR EXACT PLACEMENT OF MECHANICAL, ELECTRICAL, PLUMBING AND ANY OTHER ELEMENTS AS INDICATED IN THE DRAWINGS INCLUDING BUT NOT LIMITED TO: LIGHTING FIXTURES, MECHANICAL REGISTERS AND GRILLES, PLUMBING FIXTURES.
D. ANY MATERIAL OR EQUIPMENT NOT SHOWN ON THE STRUCTURAL DRAWINGS AND HAVING A WEIGHT IN EXCESS OF 400 POUNDS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION.
E. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF THE FLOORS, WALLS, AND ROOF ACTING TOGETHER. THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER SHALL ARRANGE FOR ALL GUYS, BRACES, STRUTS, ETC. AS REQUIRED TO ACCOMMODATE ALL LIVE, DEAD, AND WIND LOADS UNTIL ALL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE MADE.

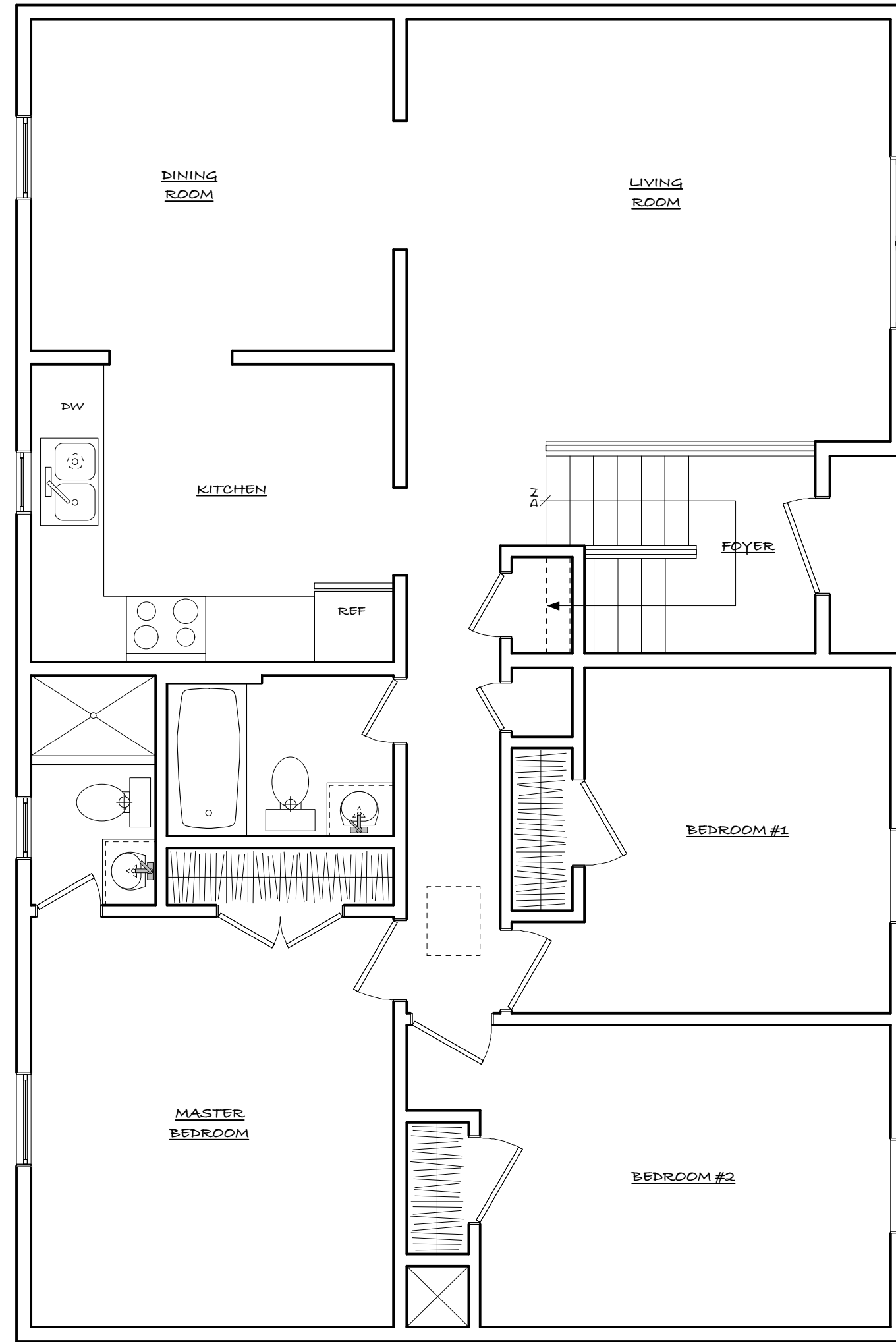
2. EARTHWORK
A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 1500 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING.
B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL. FOOTING DEPTHS ARE SHOWN SCHEMATICALLY AND ARE SUBJECT TO FIELD VERIFICATION OF EXISTING CONDITIONS AND REVIEW OF SOIL CONDITIONS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING.
C. COMPACTED BACKFILL BELOW BUILDING SLABS & FOOTINGS: ALL SOIL FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT. MATERIAL TO BE FREE FROM ORGANIC MATERIAL, TRASH, MUCK, CONCRETE, ASPHALT, OR OTHER DELETERIOUS SUBSTANCES. PRIOR TO PLACING FILL, THE EXISTING SURFACE SHALL BE CLEARED OF ALL REFUSE OR ORGANIC MATERIALS. FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO MINIMUM 95% OF THE DRY MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557 PRIOR TO PROCEEDING WITH THE FOOTING WORK.
3. CONCRETE
A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH (FC) = 3000 PSI IN 28 DAYS. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301-83 SPECIFICATION. CONCRETE EXPOSED TO WEATHER TO BE AIR-ENTRAINED.
B. ALL REINFORCING STEEL SHALL MEET ASTM-A-615 GRADE 60. PLACING PLANS AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES."
C. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS:
3/4" IN SLABS AND WALLS AT FACES NOT EXPOSED TO WEATHER
1 1/2" IN BEAMS AT BOTTOM AND SIDES; IN COLUMNS
1 1/2" IN SLABS AT BOTTOM POURED OVER VAPOR BARRIER
2" IN ALL MEMBERS EXPOSED TO WEATHER OR BACKFILL
3" IN CONCRETE POURED AGAINST EARTH
4. WOOD
A. COMPLY WITH THE "MANUAL OF HOUSE FRAMING" BY THE NATIONAL FOREST PRODUCTS ASSOCIATION, INCLUDING NAILING, FIRESTOPPING, ANCHORAGE, FRAMING, AND BRACING. DOUBLE JOISTS AT ALL OPENINGS (HEADER AND TRIMMER) AND UNDER ALL PARTITIONS PARALLEL TO THE JOISTS. PROVIDE PRESERVATIVE TREATED WOOD WHERE IN DIRECT CONTACT WITH CONCRETE OR MASONRY (INCLUDING BUT NOT LIMITED TO SILL PLATES AND LEDGER BOARDS) OR WHERE WITHIN 8 INCHES OF EARTH. AS WELL AS CANTS, NAILERS, BLOCKING, FURRING, STRIPPING, AND SIMILAR ITEMS IN CONNECTION WITH ROOFING, FLASHING, VAPOR BARRIER, AND WATERPROOFING MEMBRANES.

B. ALL FRAMING LUMBER SHALL BE HEM FIR, GRADE #2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES:
BENDING STRESS "FB" = 850 PSI FOR SINGLE MEMBER
BENDING STRESS "FB" = 977.5 PSI FOR REPETITIVE MEMBER
TENSION PARALLEL TO GRAIN "FT" = 525 PSI
HORIZONTAL SHEAR "FV" = 150 PSI
COMPRESSION PERP. TO GRAIN "FC" = 405 PSI
COMPRESSION PARALLEL TO GRAIN "FC" = 1300 PSI
MODULUS OF ELASTICITY "E" = 1,300,000 PSI
C. ALL STRUCTURAL POSTS HAVING THE FOLLOWING MINIMUM PROPERTIES:
BENDING STRESS "FB" = 1200 PSI FOR SINGLE MEMBER
BENDING STRESS "FB" = 1400 PSI FOR REPETITIVE MEMBER
HORIZONTAL SHEAR "FV" = 90 PSI
COMPRESSION PERP. TO GRAIN "FC" = 565 PSI
COMPRESSION PARALLEL TO GRAIN "FC" = 1000 PSI
MODULUS OF ELASTICITY "E" = 1,600,000 PSI
D. MICROLAM BEAMS SHALL BE AS MANUFACTURED BY TRUSJOIST MACMILLAN, OR EQUAL, AND SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
BENDING STRESS "FB" = 2400 PSI
HORIZONTAL SHEAR "FV" = 285 PSI
MODULUS OF ELASTICITY "E" = 2,000,000 PSI
E. ALL ROOF RAFTERS SHALL BE CONNECTED AT EACH BEARING POINT WITH ONE PREFABRICATED GALVANIZED METAL CONNECTOR. EACH ANCHOR SHALL BE 18 GAUGE MINIMUM AND SHALL BE ATTACHED TO HAVE THE CAPACITY TO RESIST A 450# LOADING UNLESS OTHERWISE INDICATED OR REQUIRED.
F. ALL WOOD BLOCKING, NAILERS, ETC. SHALL BE ATTACHED TO CONCRETE WITH POWER ACTUATED FASTENERS OR 3/8" DIAMETER BOLTS UNLESS OTHERWISE INDICATED OR REQUIRED. FASTENERS SHALL BE SPACED AT 24 INCHES MAXIMUM O.C. AND SHALL BE STAGGERED. FASTENERS SHALL HAVE A MINIMUM CAPACITY OF 100 LBS IN SHEAR AND PULL-OUT UNLESS OTHERWISE INDICATED OR REQUIRED.

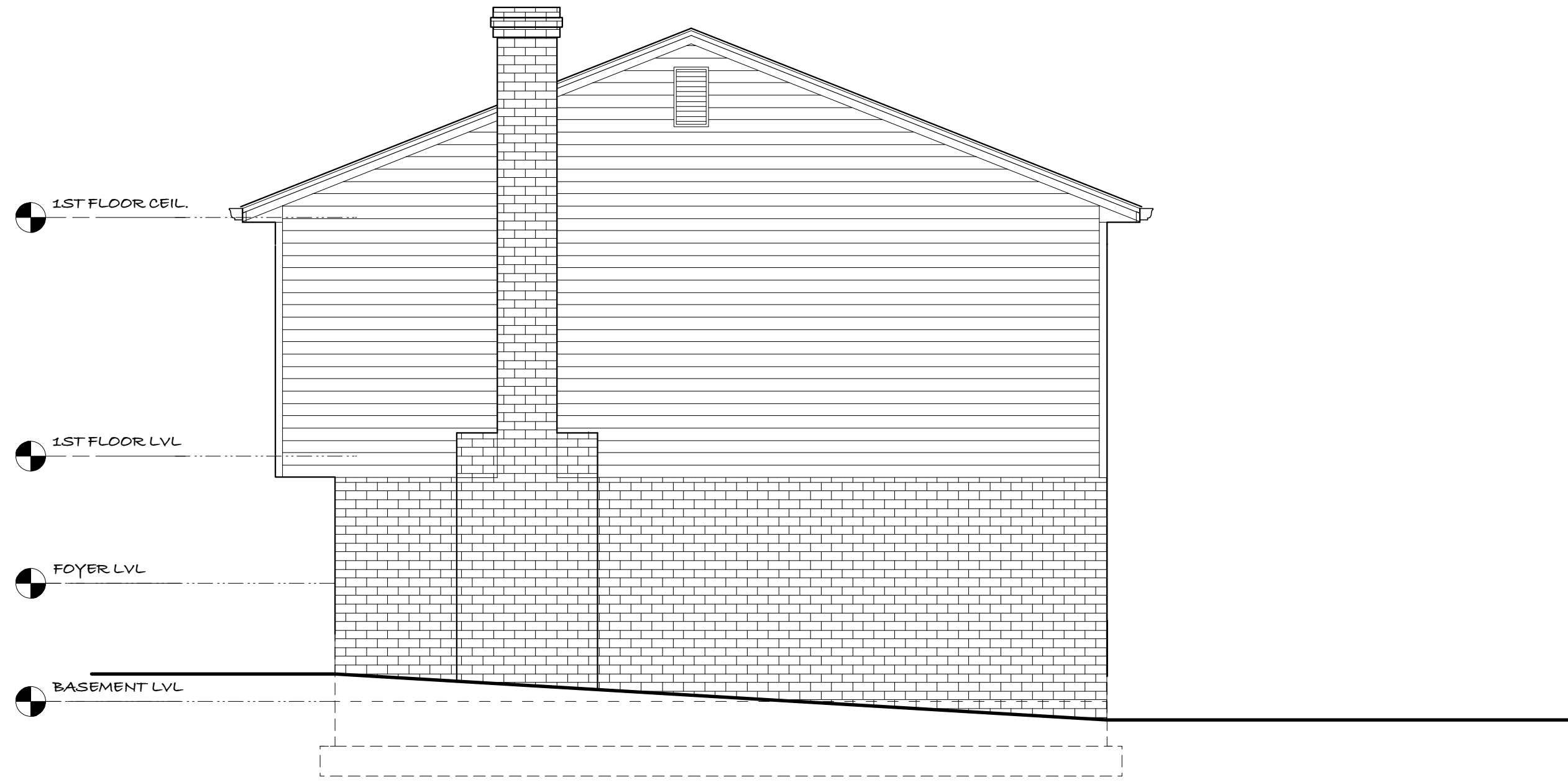




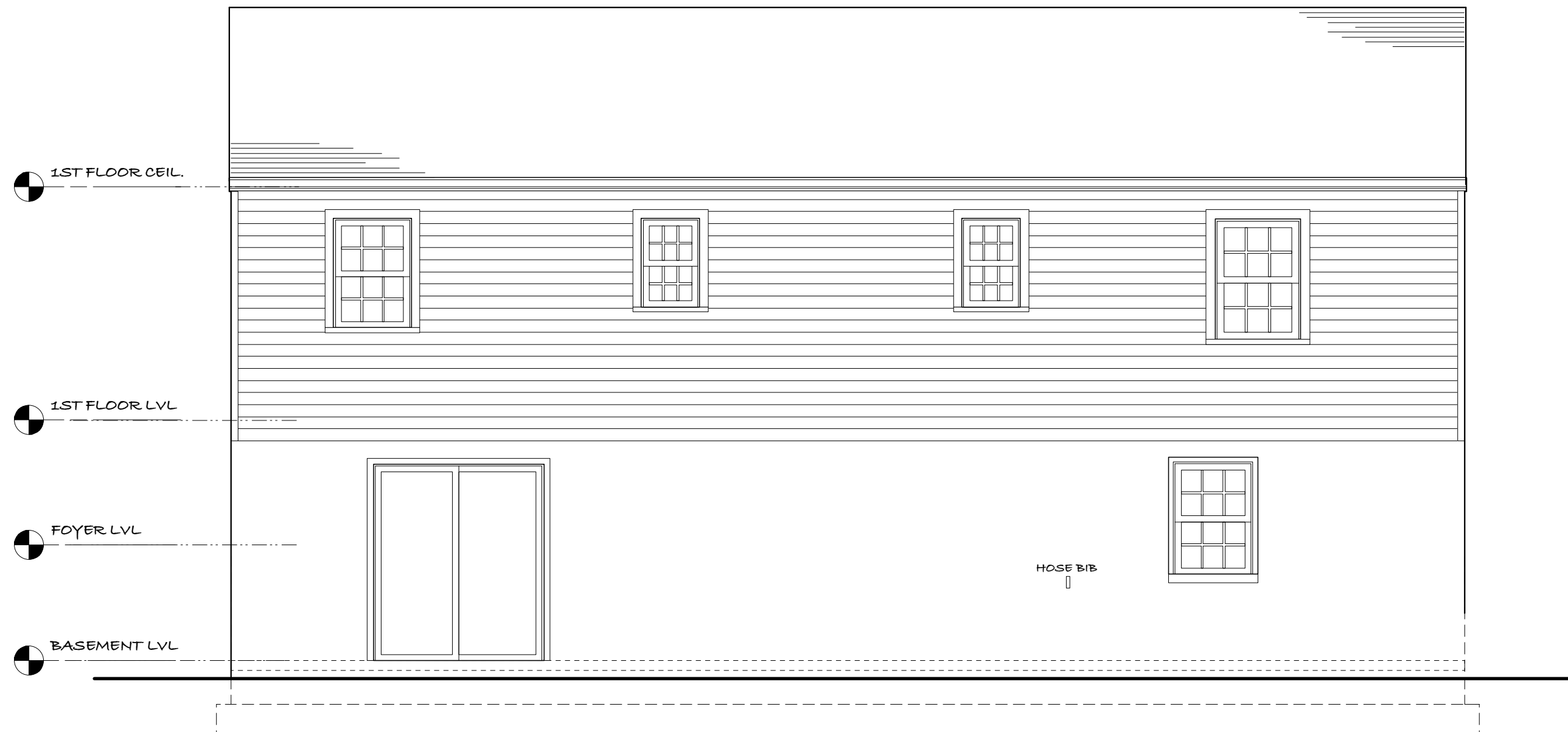
1 EXISTING BASEMENT PLAN
Scale: 1/4" = 1'-0"



2 EXISTING FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



2 EXISTING LEFT SIDE ELEVATION
Scale: 1/4" = 1'-0"



1 EXISTING REAR ELEVATION
Scale: 1/4" = 1'-0"



1 EXISTING FRONT ELEVATION
Scale: 1/4" = 1'-0"